



Addendum #2

Bid Opportunity: 24-7539-RFT - Preston High School Interior Ramp Washroom Upgrade

Closing Date: Wednesday, April 3, 2024 2:00 PM

The following issued by the Board shall form part of the Bid / Proposal Solicitation document. The revisions and additions noted herein along with any attachments shall be read in conjunction with all other related documents. This Addendum shall, take precedence over the previously issued documents where differences occur. Receipt of this addendum must be acknowledged in the Bidding System, bids&tenders.

If you have already submitted a Bid / Proposal, it will be automatically withdrawn as a result of this addendum. You must resubmit the Bid / Proposal acknowledging all addenda and revising your Bid / Proposal to comply with all addenda.

Question 1:

Does the Board have a particular terrazzo installer that they wish to include on the tender?

Answer 1:

The Board does not have a specific terrazzo installer, please carry your preferred one.

Question 2:

The finish plan there is an area that is to receive Sheet Vinyl (SV1) but there is no spec in the tender documents for any Sheet Vinyl. Please provide a specification.

Answer 2:

Please refer to added specification section 09 65 00 Resilient Flooring.

Changes to Specifications**Section 09 65 00 Resilient Flooring**

1. Add attached section 09 65 00 Resilient Flooring.

Changes to Drawings**Drawing A202**

1. Detail 2 – revise electrical panel wall assembly note, in storage 107A to read “16MM GYPSUM WALL BAORD ON **152** METAL STUDS 400O.C. TO ACCEPT ELECTRICAL PANEL. EXTEND CHASE 100MM ABOVE FINISHED CEILING”.

Mechanical and Electrical Drawings

1. Refer to the Mechanical and Electrical Addendum 2 attachment.

END OF ADDENDUM

ATTACHMENTS

Section 09 65 00

DEI Mechanical and Electrical Addendum 2

1 GENERAL

1.1 INSTRUCTIONS

- .1 Comply with Instructions to Bidders, the General Conditions of the Contract as amended by the Supplementary Conditions including all Sections outlined in Division 00 – Procurement and Contracting Requirements and Division 01 - General Requirements.
- .2 Report in writing to the General Contractor any defects of surfaces or work prepared by other Sections which affect the quality or dimensions of the Work. Commencement of work implies acceptance of existing conditions and work by others.

1.2 INTENT

- .1 Provide all articles, labour, materials, equipment, transportation, hoisting and incidentals noted, specified or required, to complete the work of this Section.

1.3 SECTION INCLUDES

- .1 Provide resilient floors, adhesives and bases as indicated on the working drawings & room finish schedule, including but not limited to the following:
 - .1 Sheet Vinyl
 - .2 Rubber Base
 - .3 Adhesives and Surface Preparation
 - .4 Reducer Strips
 - .5 Transition Mouldings
- .2 Include levelling of existing surfaces as required to achieve slopes and/or finished floor elevations as noted on drawings.

1.4 REFERENCES

- .1 ASTM F1066-04: Standard Specification for Vinyl Composition Floor Tile.
- .2 ASTM F1303-04: Standard Specification for Sheet Vinyl Floor Covering with Backing.
- .3 ASTM F1861-02: Standard Specification for Resilient Wall Base.
- .4 ASTM F1913-04: Standard Specification for Sheet Vinyl Floor Covering without Backing.

1.5 SUBMITTALS

- .1 Submittals under this Section shall be in accordance with Section 01 33 00.
- .2 Product Data:
 - .1 Submit manufacturer's technical product data for each type of ceiling unit and suspension system required, special installation requirements including special procedures, perimeter conditions requiring special attention. Include safety data sheets for reference on Site.

- .3 Selection Samples: duplicate 1'-0" x 1'-0" size samples, illustrating available colours and patterns for selection by Consultant.

1.6 DELIVERY, STORAGE AND HANDLING

- .1 Refer to Section 01 61 00.
- .2 Deliver and store materials undamaged in original wrapping or cartons.
- .3 Store materials in warm, dry room; stack rolled sheet goods on end, stack tiles not more than four (4) cartons high.

2 PRODUCTS

2.1 MATERIALS

- .1 Floor Leveller: Mapei "Ultra-Plan" or "Plani-Patch" as recommended by the manufacturer for the specific application.
- .2 Patching compound: "Pro Patch" polymer modified patching compound, manufactured by Proma Adhesives Inc.
- .3 Sheet Vinyl to ASTM F1913:
 - .1 Thickness/Wearlayer: 2.0 mm (0.080 inch)
 - .2 Test data:
 - (1) Flexibility (ASTM F137): Passes
 - (2) Chemical Resistance (ASTM F925): Passes
 - (3) Static Load Limit (ASTM F 970): Passes 250 psi
 - (4) Resistance to Heat (ASTM F1514): $\Delta E \leq 8$
 - (5) Resistance to Light (ASTM F1515): $\Delta E \leq 8$
 - (6) Residual Indentation (ASTM F1914): Passes
 - (7) Static Coefficient of Friction (ASTM D 2047): ≥ 0.5 SCOF
 - (8) Flammability (ASTM E648, Critical Radiant Flux): Class 1 (≥ 0.45 W/cm²)
 - .3 Allow for colours and patterns as per finish plans.
 - .4 Acceptable products and manufacturers:
 - (1) Palettone PUR by Polyflor.
 - (2) IQ Optima by Tarkett
 - (3) Mipolam Affinity by GerFloor
- .4 Rubber Base: to ASTM F1861; 4" high by Armstrong or Johnsonite; colour integrated rubber wall base. Colour: refer to finish plans.
- .5 Transition Mouldings: suitable for wheel traffic and ADA compliant (Barrier free); as follows:
 - .1 CTA-XX-H: ¼" carpet to 1/8" resilient.
 - .2 CTA-XX-J 5/16" carpet to substrate
 - .3 CTA-XX-K 3/8" ceramic to 1/8" resilient.

.4 CTA-XX-L 3/8" ceramic to 1/4" carpet.

.6 Flooring Adhesive:

.1 Use manufacturer's specified adhesive only.

.7 Base Adhesive

.1 Johnsonite #960 wall base adhesive for porous wall surfaces (unpainted) gypsum or masonry substrates).

.2 Johnsonite #945 contact bond adhesive for non-porous wall surfaces (metal, painted, ceramics, etc.).

.3 Refer to Drawings for locations and sizes.

3 EXECUTION

3.1 EXAMINATIONS

.1 Verification of Conditions:

.1 Examine all work of other Sections upon which the Work of this Section depends.

.2 Do not proceed with installation until all wet work such as concrete and painting has been completed and thoroughly dried.

.3 Report in writing to the Project Manager any defects of surfaces or work prepared by other Sections which affect the quality or dimensions of the Work of this Section.

.4 Do not proceed with Work of this Section until all unsatisfactory conditions have been rectified and site conditions are ready to receive work.

.5 Commencement of work implies acceptance of existing conditions and work by others.

3.2 QUALITY OF WORK

.1 Install resilient flooring employing mechanics with the necessary training and experience as certified by the manufacturer.

.2 Do not commence laying Resilient base until just prior to completion of the building when all trades (except painter) has completed their work.

.3 Temperature of room and material shall be maintained at a minimum 20 degrees C (70 degrees F) 72 hours before, during and at least 72 hours after installation.

.4 Concrete slabs shall be a minimum of 28 days old before commencing application and be below 2½% moisture content at centre of slab and free of surface moisture.

3.3 PREPARATION

.1 Clean floor and base surfaces to be covered: using a vacuum cleaner. Remove all substances deleterious to adhesive bond.

3.4 APPLICATION

.1 Adhesive

- .1 Apply adhesive uniformly with an approved notch-tooth spreader at the Manufacturer's recommended rate. Do not spread more adhesive than can be covered before initial set takes place.

.2 Base

- .1 Install base on top of flooring.
- .2 Install top set cove base in accordance with manufacturer's recommendations. Set base in adhesive tightly against wall and floor surfaces. Space joints uniformly.
- .3 Accurately scribe around door-frames, fitments and other obstructions.
- .4 Install base at all columns, walls and built-in fitments, in rooms where base is indicated.
- .5 Form external corners and end stops from preformed units. Internal corners to be coped (not mitered) to produce a tight fit.

3.5 MAINTENANCE

- .1 Furnish Owner with two copies of manufacturer's maintenance instructions.

3.6 ADJUSTMENTS

- .1 Work shall be examined approximately ten days after completion and all adjustment of defects made good.

3.7 CLEANING AND PROTECTION

- .1 Clean work area daily in accordance with Section 01 74 00.
- .2 Protect all resilient flooring work during period of construction.
- .3 Upon completion of the resilient flooring installation, remove all excess tiles, clipping, etc. and remove any dirt spots and foreign materials to the satisfaction of the Project Manager.
- .4 Protect the finished floor with suitable and durable material or by keeping traffic off the floor until the building or room is ready for occupancy.
- .5 Upon completion of work, remove equipment and debris resulting from the work of this Section.

END OF SECTION

March 25, 2024

Client: WalterFedy
675 Queen St. S. Unit 111
Kitchener, ON N2M 1A1

RE: Preston High School - Renovations
Cambridge, ON

Job #: 23298

Attn: Maria Melo

ADDENDUM 02

MECHANICAL

Item 1

- 1.0 Reference Drawing M2.1 and Attached Sketch AD02-M01
 - .1 In Storage 107A, provide new thermostat for existing unit heater as indicated on sketch AD02-M01.

ELECTRICAL

Item 1

- 1.0 Reference Attached Reissued Drawing E2.3
 - .1 In Storage 107A, relocate existing switch as indicated on reissued drawing E2.3.
 - .2 Revise new panelboard to recessed mount as indicated on reissued drawing E2.3.

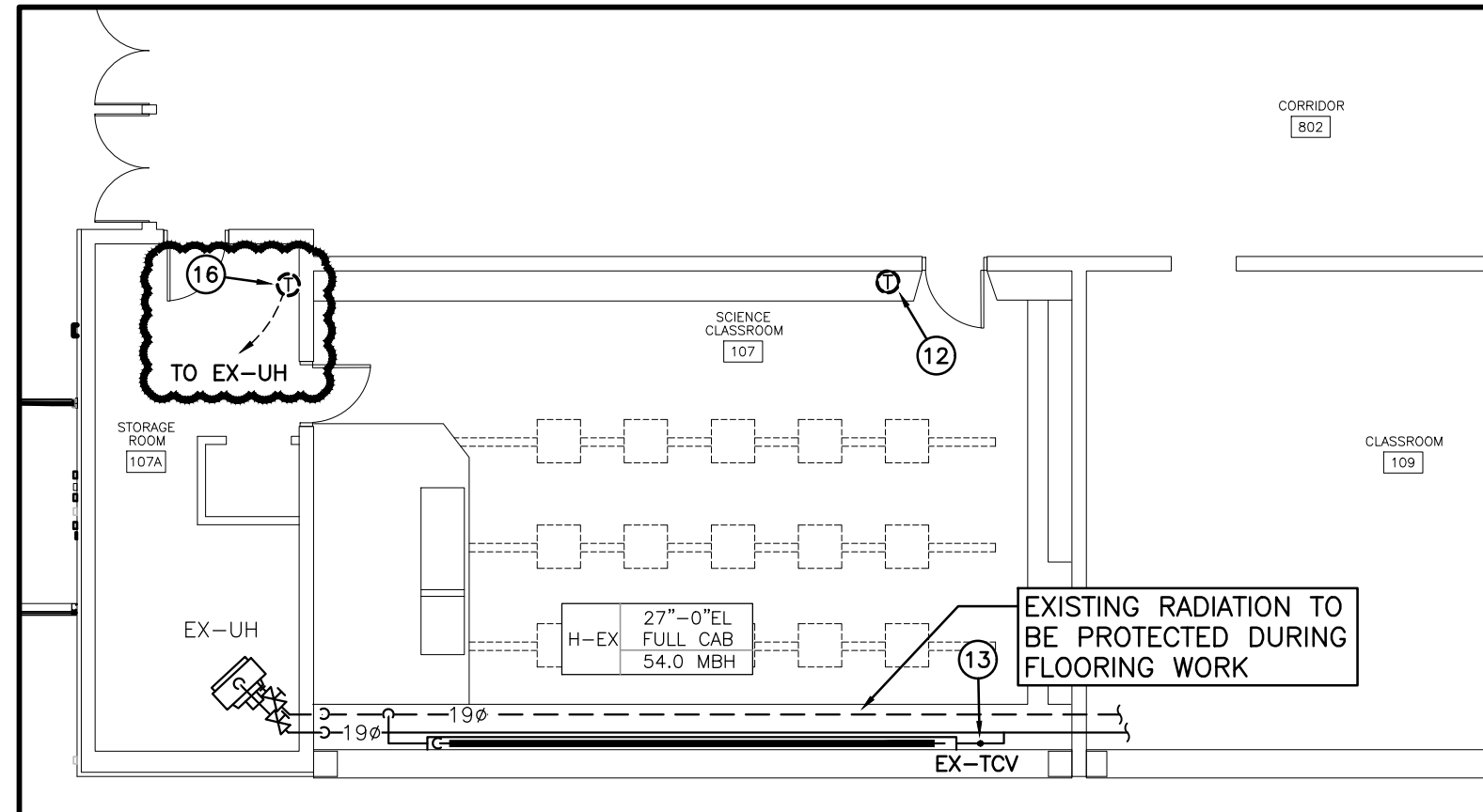
Steve Oatley
Lead Designer, Partner

23298 Addendum 02 (M&E-Various)(reissued dwg E2.3)(AD02-M01) Mar 25 24.docx
so/kc/kz

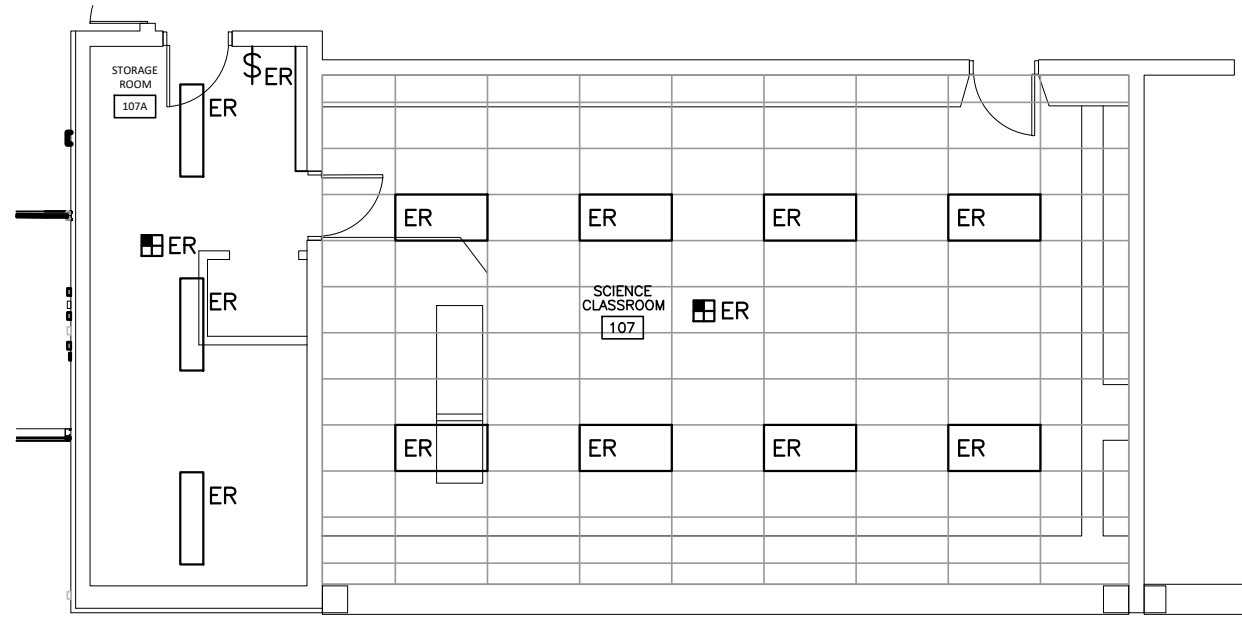


SPECIFIC DEMOLITION NOTES

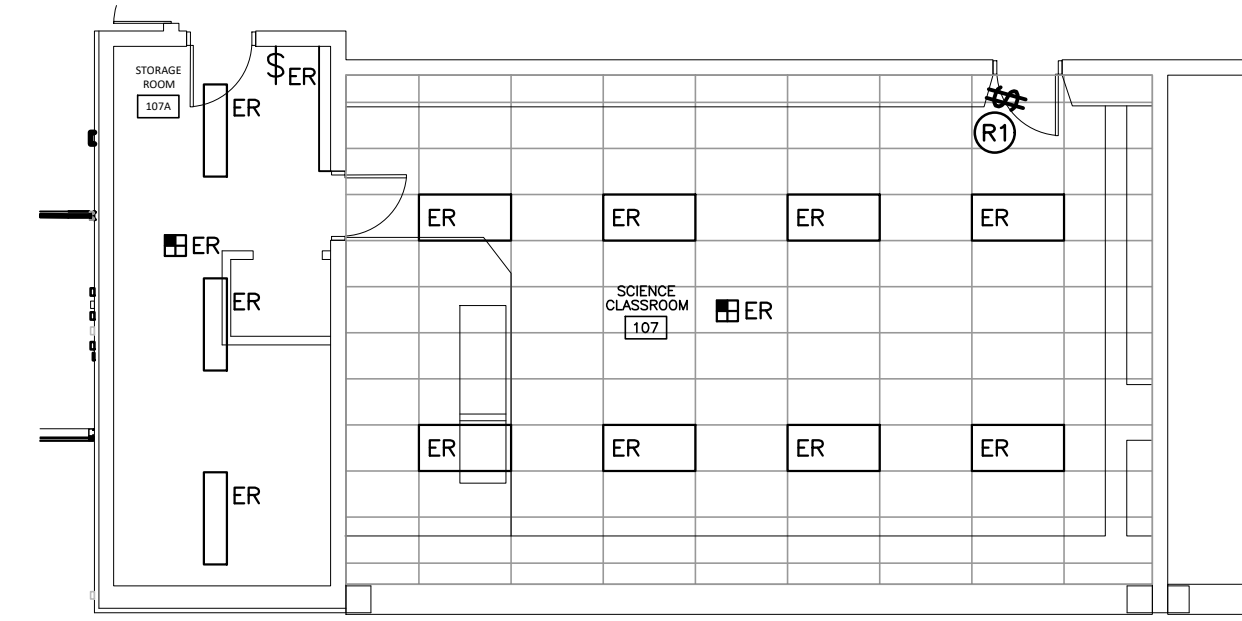
1. EXISTING DOMESTIC PIPING TO BE CUT AND REMOVED BEYOND COMPLETE.
2. EXISTING PLUMBING FIXTURE TO BE REMOVED COMPLETE. EXISTING DOMESTIC/SANITARY/VENTING TO BE CUT & CAPPED IN WALL/BELOW FLOOR AND REMOVED BEYOND COMPLETE.
3. EXISTING DOMESTIC PIPING TO BE CUT ON RISER AND REMOVE BEYOND COMPLETE.
4. EXISTING GRILLE TO BE REMOVED COMPLETE.
5. EXISTING DOOR GRILLE TO BE REMOVED COMPLETE.
6. EXISTING PLUMBING FIXTURE TO BE REMOVED COMPLETE. EXISTING SANITARY/DOMESTIC/VENTING PIPING TO BE CUT AND REMOVED BEYOND COMPLETE. PREPARE PIPING FOR RE-CONNECTION TO NEW.
7. EXISTING SPRINKLER PIPING TO BE CUT AND RE-ROUTED TO AVOID EXISTING DUCT BRANCH. MAINTAIN MAXIMUM HEIGHT TO ACCOMMODATE NEW RAMP HEADROOM. RELOCATE EXISTING SPRINKLER HEAD TO SUIT.
8. EXISTING GAS PIPING AT DESK TO BE REMOVED COMPLETE. CAP IN CONCEALED LOCATION/REMOVE BACK TO SOURCE (TYPICAL ALL STUDENT/TEACHER STATIONS).
9. EXISTING CLEANOUT/COVER TO BE TEMPORARILY REMOVED TO ACCOMMODATE NEW FLOORING. RE-INSTALL SAME AFTER FLOORING WORK.
10. EXISTING DOMESTIC PIPING TO BE CUT AND REMOVED BEYOND COMPLETE.
11. EXISTING PLUMBING FIXTURE TO BE REMOVED COMPLETE. EXISTING SANITARY/VENTING/DOMESTIC PIPING TO BE REMOVED COMPLETE AND/OR CAPPED IN CONCEALED LOCATION/BACK TO SOURCE TO ACCOMMODATE INSTALLATION OF NEW DOOR.
12. EXISTING THERMOSTAT TO BE REMOVED COMPLETE. EXISTING PNEUMATIC TUBING TO BE REMOVED BACK TO SOURCE. SOLDER/CRIMP IN CONCEALED LOCATIONS. PROVIDE NEW DDC THERMOSTAT & CONTROL WIRING. FISH EXISTING WALL AS REQUIRED.
13. EXISTING ISOLATION, BALANCING AND TEMPERATURE CONTROL VALVES TO BE REMOVED AND REPLACED WITH NEW.
14. EXISTING DUCTWORK TO BE CUT & REMOVED BEYOND COMPLETE.
15. EXISTING GAS PIPING SERVING STUDENT DESKS TO BE CAPPED AT RISER IN TEACHER'S DESK & REMOVED BEYOND COMPLETE. EXISTING LOCKING GAS VALVES & TEACHER'S DESK GAS TO REMAIN IN CURRENT CONDITION/OPERATION.
16. EXISTING THERMOSTAT TO BE REMOVED COMPLETE. EXISTING PNEUMATIC TUBING TO BE REMOVED BACK TO SOURCE. SOLDER/CRIMP IN CONCEALED LOCATIONS. PROVIDE NEW DDC THERMOSTAT & CONTROL WIRING. INSTALL NEW THERMOSTAT IN NEW DRYWALL CHASE. REFER/CO-ORDINATE WITH ARCHITECTURAL DRAWINGS.



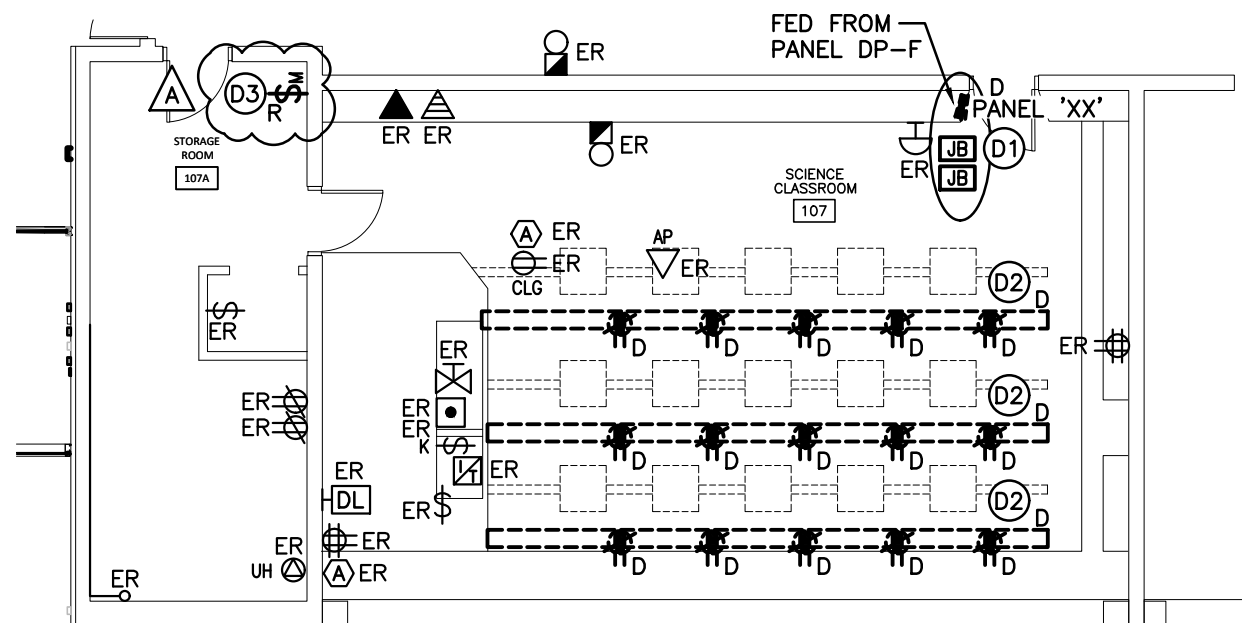
PARTIAL GROUND FLOOR PLAN 'B' - DEMOLITION
SCALE: 1:100



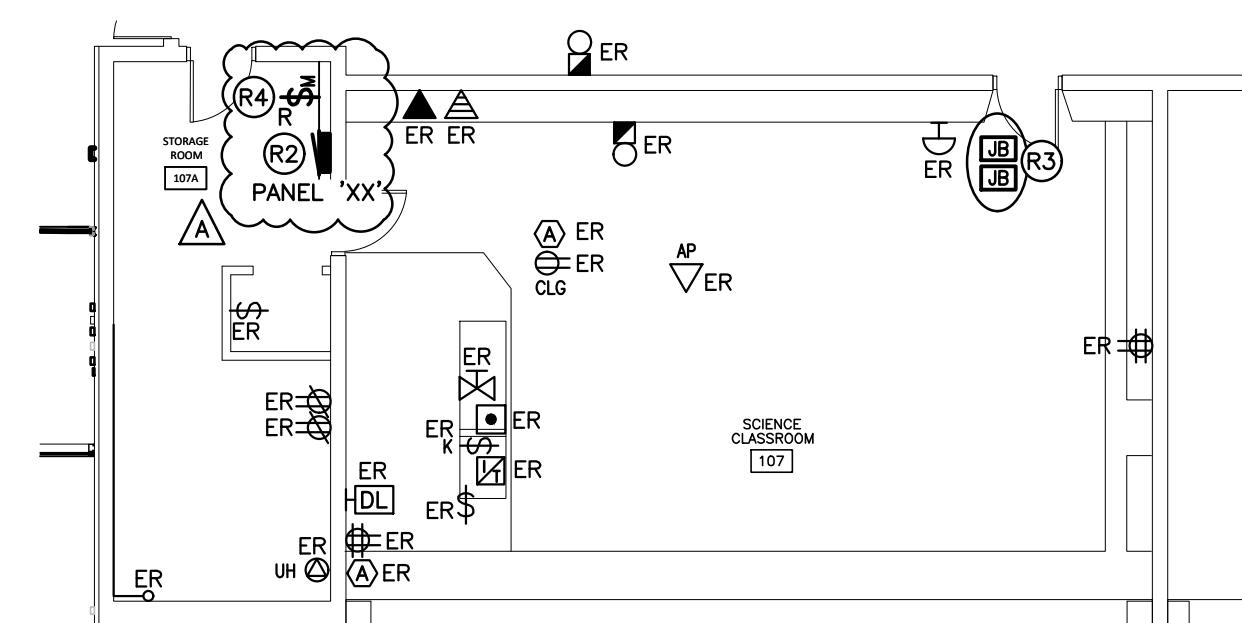
SCIENCE LAB #107 LIGHTING – DEMOLITION
SCALE: 1:100



SCIENCE LAB #107 LIGHTING – RENOVATION
SCALE: 1:100



SCIENCE LAB #107 POWER AND SYSTEMS – DEMOLITION
SCALE: 1:100



SCIENCE LAB #107 POWER AND SYSTEMS – RENOVATION
SCALE: 1:100

GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
- ALL LIGHTING FIXTURES BEING RELOCATED SHALL BE CLEANED AND CHECKED PRIOR TO BEING REINSTALLED.

SPECIFIC DEMOLITION NOTES

- D1 INDICATES EXISTING BULLDOG PUSHMATIC PANEL TO BE REMOVED COMPLETE. PULL MAINS AND BRANCH CIRCUIT WIRING UP TO NEW JUNCTION BOXES WITHIN ACCESSIBLE CEILING SPACE. PROVIDE TERMINAL STRIPS AND RE-TERMINATE BRANCH AND MAINS WIRING TO SUIT. PROVIDE PAINTED 16GA STEEL COVER ON EXISTING PANEL TUB.
- D2 INDICATES WIRE TROUGH AND RECEPTACLE MOUNTED IN MILLWORK TO BE DISCONNECTED REMOVED COMPLETE. ALL WIRING TO BE REMOVED COMPLETE BACK TO SOURCE. LABEL SOURCE BREAKER AS SPARE.
- D3 REMOVE AND RE-INSTALL SWITCH IN NEW WALL FURRING. MAINTAIN WIRING FOR RECONNECTION. REFER TO RENOVATION DRAWINGS.

GENERAL RENOVATION NOTES

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

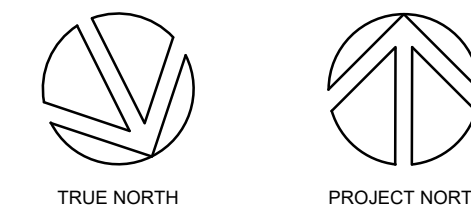
SPECIFIC RENOVATION NOTES

- R1 REWORK EXISTING LIGHTING CIRCUIT WITHIN THIS AREA TO SUIT NEW LIGHTING CONTROL MOUNT SWITCHES IN OLD PANEL TUB.
- R2 PANEL SHALL BE AS FOLLOWS:
RECESSED MOUNT
100A 120/208V 3PH 4W
22KAIC
MAIN LUGS ONLY
RECESSED MOUNT
100% NEUTRAL
30 CIRCUIT MINIMUM C/W -
14 X 15A-1P BREAKERS
- PROVIDE THE FOLLOWING NEW BREAKERS:
CIRCUIT BREAKER DEVICE
XX-1 20A-1P 5mA GF STAFF WASHROOM #101 HAND DRYER
XX-2 15A-1P 5mA GF WASHROOM FAUCETS REC.
- NOTE: RECONNECT BRANCH CIRCUITS MADE AVAILABLE DURING DEMOLITION PHASE AND BACK FEED PANEL.
- R3 FROM JUNCTION BOXES, PROVIDE NEW MAINS WIRING (4#8 T90 CU IN 21mmC) AND BRANCH CIRCUIT WIRING TO NEW PANEL BOARD LOCATION. TERMINATE WIRING ON TERMINAL STRIPS TO SUIT RECONNECTION. VERIFY EXACT CONDITIONS ON SITE AND COORDINATE RE-FEED METHOD WITH CONSULTANT.
- R4 RE-INSTALL EXISTING SWITCH IN NEW FURRING WALL.

CLIENT LOGO



KEYPLAN



No.	ISSUANCE	DATE
1	ISSUED FOR BID AND PERMIT	2024-03-13
A	ISSUED FOR ADDENDUM #2	2024-03-22

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets, fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the consultant are the property of the consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2024 DEI Consulting Engineers Inc.



CLIENT

WATERLOO REGION DISTRICT SCHOOL BOARD

51 Ardelt Ave, Kitchener, ON N2C 2R5

PROJECT

PRESTON HS - RAMP AND WASHROOM RENOVATIONS

550 Rose St. Cambridge, ON N3H 2E6

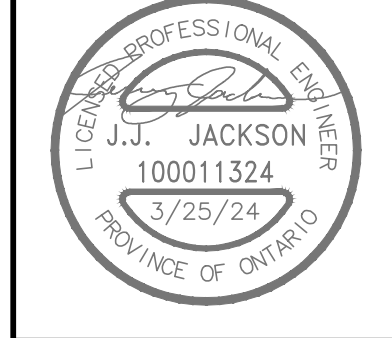
TITLE

SCIENCE LAB #107 - DEMOLITION AND RENOVATION PLANS

WALTERFEDY

KITCHENER | HAMILTON | TORONTO
800.685.1378 walterfedy.com

SEAL



SCALE:	As indicated	SHEET NO:	E2.3
DATE:	2024-01-30		
PROJECT NO:	2023-0705-11		
DRAWN BY:	KZ		
CHECKED BY:	SD		