





### DRAWING LIST

ARCHITECTURE	
A000	COVER SHEET
A001	ASSEMBLIES, LEGENDS, NOTES
A100	DEMOLITION FLOOR PLAN
A101	ENLARGED FLOOR PLAN AND DETAILS
A102	SECTION DETAILS
STRUCTURAL	
S001	GENERAL NOTES AND TABLES
S003	TYPICAL DETAILS
S201	PARTIAL GROUND FLOOR PLAN AND SECTIONS

24-006694

230 CEDARBRAE AVE  
**BUILDING INSPECTION**   
NOTE: THIS DEPARTMENT MUST BE NOTIFIED OF, AND APPROVE ALL CHANGES FROM THESE PLANS. ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE. THE BUILDER ASSUMES FULL LIABILITY FOR ERRORS AND OMISSIONS. THESE DRAWINGS MUST BE KEPT ON SITE UNTIL FINAL INSPECTION HAS BEEN COMPLETED.  
2024-05-23 

LARGE BUILDINGS: TO BOOK AN INSPECTION CALL THE INSPECTION REQUEST LINE AT 519-747-8789.

# WATERLOO REGION DISTRICT SCHOOL BOARD

## CEDARBRAE P.S. INTERIOR BARRIER-FREE RAMP

230 CEDARBRAE AVE, WATERLOO ON N2L 4S7

WalterFedy Project No.: 2022-0883-11

2024.04.03 ISSUED FOR BID AND PERMIT

# ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	KP	KICK PLATE
AFF	ABOVE FINISHED FLOOR	LAM	LAMINATE
ALT	ALTERNATE	LAV	LAVATORY
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	LED	LIGHT EMITTING DIODE
AC	AIR CONDITIONING	M	MEN'S
ALUM	ALUMINUM	m	METERS
ARCH	ARCHITECTURAL	MAS	MASONRY
ASPH	ASPHALT	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLK	BLOCK	MET	METAL
BM	BEAM	MEZZ	MEZZANINE
BRK	BRICK	MFR	MANUFACTURER
BLDG	BUILDING	MIN	MINIMUM
BLKG	BLOCKING	MIR	MIRROR
BOT	BOTTOM	MIRH	MIRROR HANDICAPPED
BRKT	BRACKET	MISC	MISCELLANEOUS
CB	CATCH BASIN	mm	MILIMETER
CEM	CEMENT	MO	MASONRY OPENING
CER	CERAMIC	MPH	MOP HOLDER
CFM	CUBIC FEET PER MINUTE	N	NORTH
CG	CORNER GUARD	ND	NAPKIN DISPOSAL
CGSB	CANADIAN GENERAL STANDARD BOARD	NIC	NOT IN CONTRACT
CH	COAT HOOK	No.	NUMBER
CHH	COAT HOOK HANDICAPPED	NOM	NOMINAL
CI	CAST IRON	NTS	NOT TO SCALE
CJ	CONTROL JOINT	OA	OVERALL
Cm	CENTIMETER	OBC	ONTARIO BUILDING CODE
CONC	CONCRETE	OC	ON CENTRE
CORR	CORRIDOR	OD	OUTSIDE DIAMETER
CR	CARD READER	O/H	OVERHEAD
CT	CERAMIC TILE	OH	OPPOSITE HAND
CW	COLD WATER	OPNG	OPENING
CL	CENTRE LINE	OPP	OPPOSITE
COL	COLUMN	OWSJ	OPEN WEB STEEL JOIST
CONT	CONTINUOUS	PTN	PARTITION
CPT	CARPET	PCONC	PRECAST CONCRETE
CSA	CANADIAN STANDARDS ASSOCIATION	PG	PIPE GUARD
CTR	CENTRE	PL	PLATE
C/W	COMPLETE WITH	PLAM	PLASTIC LAMINATE
DBL	DOUBLE	PLEXI	PLEXIGLASS
DET	DETAIL	PLYWD	PLYWOOD
DIA	DIAMETER	PNT	PAINT
DIM	DIMENSION	POL	POLISHED
DO	DITTO	PR	PAIR
DR	DOOR	PSF	POUNDS PER SQUARE FOOT
DS	DOWNSPOUT	PSI	POUNDS PER SQUARE INCH
DWG	DRAWING	PT	POINT
E	EAST	PVC	POLYVINYL CHLORIDE
EA	EACH	QT	QUARRY TILE
EIFS	EXTERIOR INSULATION FINISH SYSTEMS	R	RADIUS
ELEV	ELEVATION	RCP	REFLECTED CEILING PLAN
ELEC	ELECTRIC(AL)	RD	ROOF DRAIN REINFORCE
ENCL	ENCLOSURE	REQ'D	REQUIRED
ENG	ENGINEER	RESIL	RESILIENT
ENT	ENTRANCE	REV	REVISION
EQ	EQUAL	RM	ROOM
EXP	EXPOSED	RO	ROUGH OPENING
EXPAN JT	EXPANSION JOINT	RWL	RAIN WATER LEADER
EXT	EXTERIOR	S	SOUTH
FA	FIRE ALARM	SCH	SCHEDULE
FAS	FIRE ALARM STATION	SD	SOAP DISPENSER
FD	FLOOR DRAIN	SEAL	SEALANT
FDN	FOUNDATION	SECT	SECTION
FE	FIRE EXTINGUISHER	SF	SQUARE FEET
FEC	FIRE EXTINGUISHER CABINET	SHROD/C	SHOWER ROD WITH CURTAIN
FF	FINISH FLOOR	SHT	SHEET
FFD	FUNNEL FLOOR DRAIN	SIM	SIMILAR
FH	FIRE HYDRANT	SN	STAIR NOSING
FHC	FIRE HOSE CABINET	SP	STANDPIPE
FHV	FIRE HOSE VALVE	SPEC	SPECIFICATION
FIN	FINISHED	SQ	SQUARE
FLUOR	FLUORESCENT	S.S.	STAINLESS STEEL
FT	FOOT or FEET	STD	STANDARD
FTG	FOOTING	STL	STEEL
FURR	FURRING	STRUCT	STRUCTURAL
FVC	FIRE VALVE CABINET	SYM	SYMMETRICAL
GA	GAUGE	TB	TACK BOARD
GAL	GALVANIZED	TD	TRENCH DRAIN
GB	GRAB BAR	TEL	TELEPHONE
GEN	GENERATOR	T & G	TONGUE & GROOVE
GF	GROUND FLOOR	THK	THICK
GL	GLASS	THR	TRESHOLD
GR	GRADE	T.O.	TOP OF
GRAN A	GRANULAR A	TYP	TYPICAL
GRAN B	GRANULAR B	U/C	UNDERCUT
GWB	GYPSSUM WALL BOARD	U/G	UNDERGROUND
HB	HOSE BIBB	UL	UNDERWRITER LABORATORY
HC	HANDICAPPED	UNFIN	UNFINISHED
HM	HOLLOW METAL	UON	UNLESS OTHERWISE NOTED
HORIZ	HORIZONTAL	U/S	UNDERSIDE
HP	HYDRO POLE	UTIL	UTILITY
HR	HOUR	VCT	VINYL COMPOSITION TILE
HT	HEIGHT	VEST	VESTIBULE
HW	HOT WATER	W	WEST
ID	INSIDE DIAMETER	WC	WATER CLOSET
INCAN	INCANDESCENT	WD	WOOD
INSUL	INSULATION or INSULATED	WHTR	WATER HEATER
INV	INVERT	WP	WATERPROOF(ING)
JAN	JANITOR'S CLOSET	WR	WASHROOM
JT	JOINT	WS	WEATHERSTRIPPING
JST	JOIST	WT	WEIGHT
KD	KNOCK DOWN	WWF	WELDED WIRE FABRIC
KO	KNOCK OUT	WWM	WELDED WIRE MESH

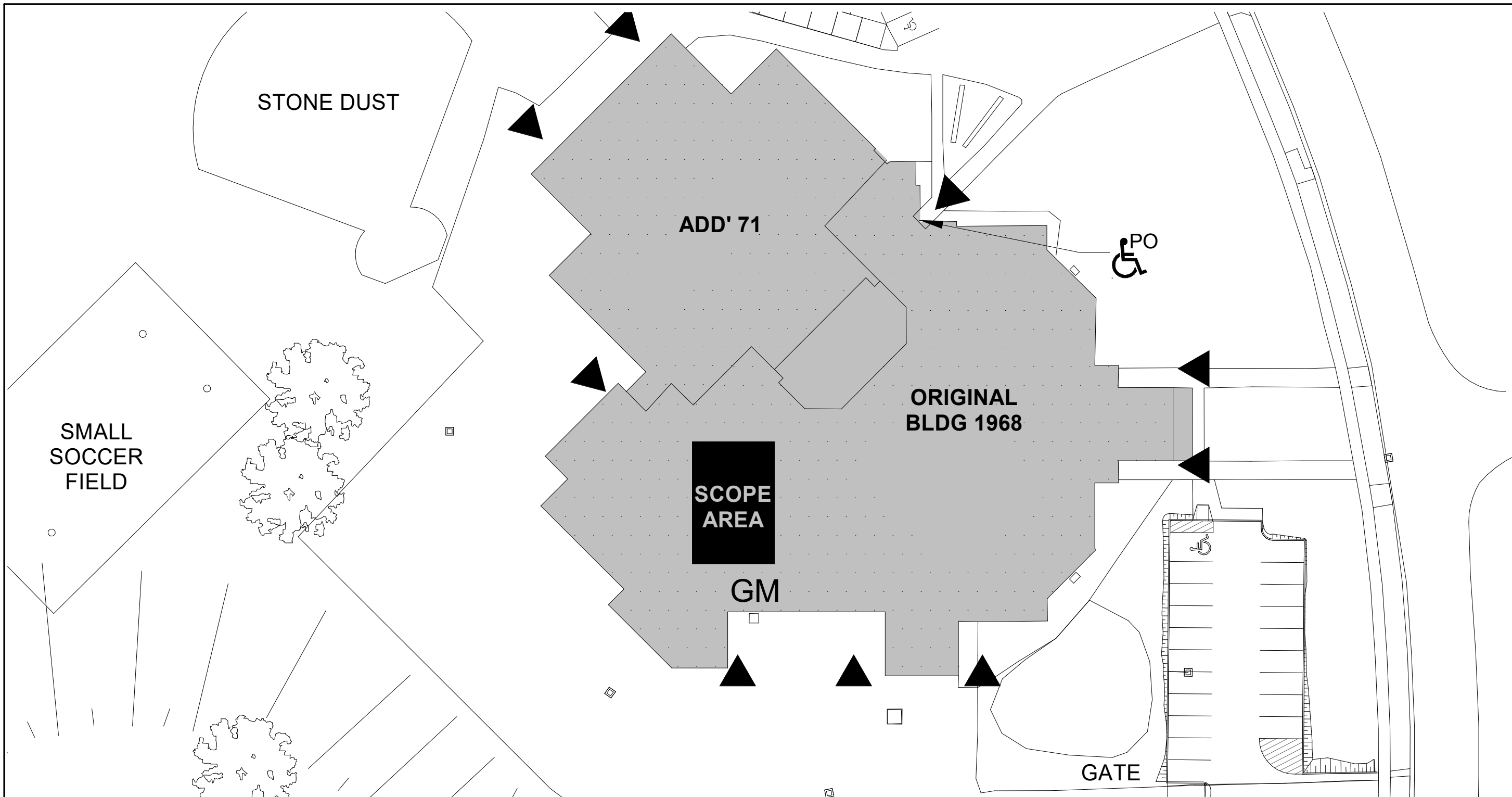
# General Annotations

<b>Building Section Tag</b> Ref 00a A000	<b>Wall Section Tag</b> Ref 00a A000	<b>Callout Tag</b> SIM 00a A000
<b>Exterior Elevation Tag</b> 00a A000	<b>Interior Elevation Tag</b> 1 Ref 00a A000	
<b>Grid Marker</b> 00x NEW 01 EXISTING	<b>Revision</b> 11	<b>North Arrow</b> Can be rotated for the True North in the blockbook family.
<b>Level Marker</b> Level Name	<b>View Title</b> 1 View Name Scale: 1:100	
<b>Room Tags</b>		
<b>ROOM NAME</b> [0000] Name & Number	<b>ROOM NAME</b> [0000] Name, Number & Primary Area	
<b>ROOM NAME</b> [0000] Name, Number & 0,000 SF Primary and Secondary Areas	<b>ROOM NAME</b> [0000] Room Number	
[0000] Number & 0,000 m <sup>2</sup> Primary Area	[0000] Number & 0,000 m <sup>2</sup> Primary and Secondary Areas	
[xxx] ID Finish Tag	Number & Interior Design Finishes [0000] [0000] [0000] [0000] [0000] [0000]	
<b>Family Tags</b>		
<b>Wall Tag</b> [WX-0a]	<b>Equipment &amp; Furniture Tag</b> [000]	
<b>Material Tag</b> [?]	<b>Drawing Note Symbol</b> [00]	
<b>Door Tag</b> [0000]	<b>Multi-Leader</b> TEXT	
<b>Curtain Wall, Window, Louver &amp; Screen Tag</b> [CW1] interior [W22] exterior	<b>Drawing Note Tags</b> [00] drawing note [000] demolition note	<b>Roof Tag</b> [R-00]
		<b>Floor Tag</b> [F-00]
<b>Ceiling/Soffit Tags</b>		
w/ ceiling/soffit height	wo ceiling/soffit height	only ceiling/soffit height
<b>Building Entry Symbols - Site Planning</b>		
Building Entrance (Primary)	Building Entrance (Secondary)	Barrier Free (Primary)
		Barrier Free (Secondary)
		Overhead Door (Optional)
<b>DRAWING LEGEND:</b>		
[Hatched Area]	HATCH DENOTES AREA NOT IN SCOPE OF ARCHITECTURAL WORK - TYPICAL	
[Dashed Line]	EXISTING TO BE DEMOLISHED SHOWN DASHED	

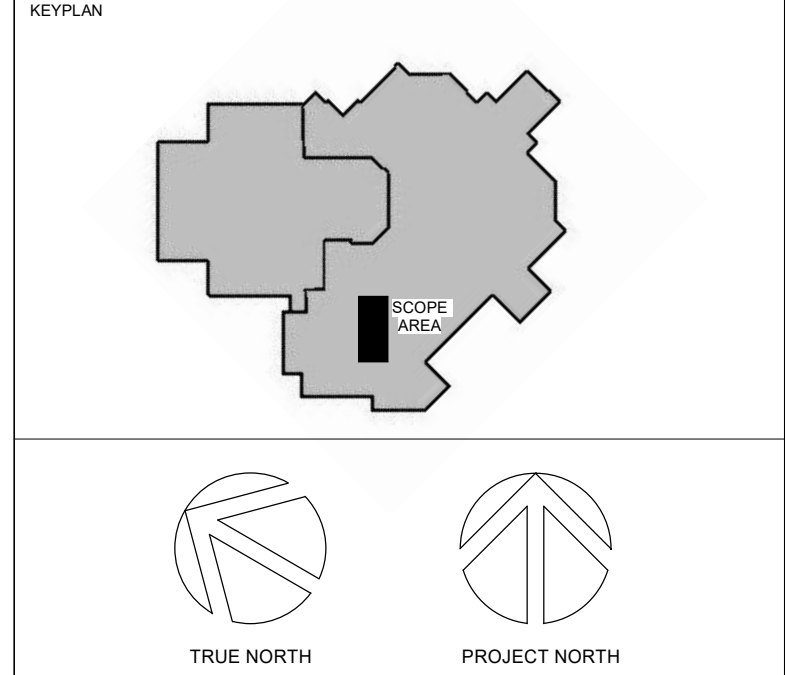
Ontario's 2012 Building Code		OBC Reference
Data Matrix Part 11		
11.1	Existing Building Classification Describe Existing Use: GROUP A2 ( ELEMENTARY SCHOOL) Construction Index: - Hazard Index: - <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)	11.2.1. T11.2.1.1A T11.2.1.1B-N
11.2	Alteration to Existing Building is Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>	
11.3	Reduction in Performance Level Structural <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase in Occupant Load <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Change of Major Occupancy <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage-System <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2. 11.4.2.1-5
11.4	Compensating Construction Structural <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in Occupant Load <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Change of Major Occupancy <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage System <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) * Renovation to existing single use washroom into accessible washroom - fixture count to remain unchanged	11.4.3. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6.
11.5	Compliance Alternatives Proposed <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))	11.5.1.
11.6	Alternative Measures Proposed <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))	11.5.2.

### OBC NOTES:

- MAJOR OCCUPANCY: GROUP A2 TO REMAIN (ELEMENTARY SCHOOL)
- EXISTING BUILDING AREA: **4,220 m<sup>2</sup> (45,423.70 SF)**
- GROSS BUILDING AREA: **4,220 m<sup>2</sup> (45,423.70 SF)**
- AREA OF RENOVATION: **34 m<sup>2</sup> (366 SF)**
- EXISTING BUILDING: SPRINKLERED
- FIRE ALARM - EXISTING TO REMAIN
- FIRE RESISTANCE RATING FOR THE CORRIDOR IS NOT REQUIRED AS THE CORRIDOR IS SPRINKLERED. 3.3.2.5(3) AND FIRE SEPARATION IS WAIVED AS THE EXIT TRAVEL DISTANCE DOES NOT EXCEED 45M AS PER 3.3.2.5(4).



1 SITE PLAN - FOR REFERENCE ONLY  
A001 Scale: 1 : 500



No.	ISSUANCE	DATE
1	ISSUED FOR 60% OWNER REVIEW	2024-03-14
2	ISSUED FOR 90% OWNER REVIEW	2024-03-26
3	ISSUED FOR BID AND PERMIT	2024-04-03

CLIENT  
**WATERLOO REGION DISTRICT SCHOOL BOARD**  
51 ARDEL AVE, KITCHENER, ON N2C 2R5

PROJECT  
**CEDARBRAE P.S. INTERIOR BARRIER-FREE RAMP**  
230 CEDARBRAE AVE, WATERLOO ON N2L 4S7

TITLE  
**ASSEMBLIES, LEGENDS, NOTES**

**WALTERFEDY**  
KITCHENER | HAMILTON | TORONTO  
800.685.1378 walterfedy.com

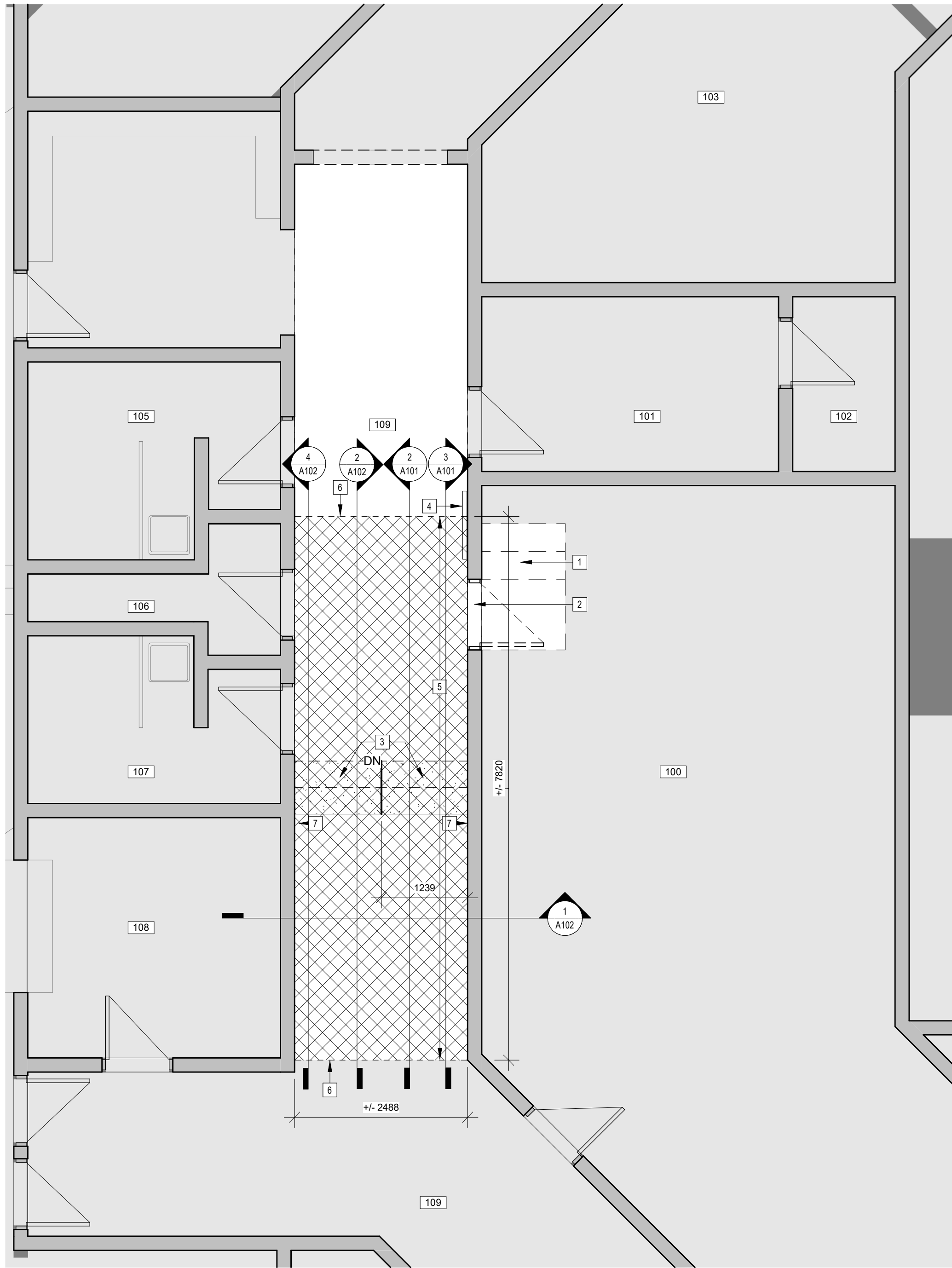


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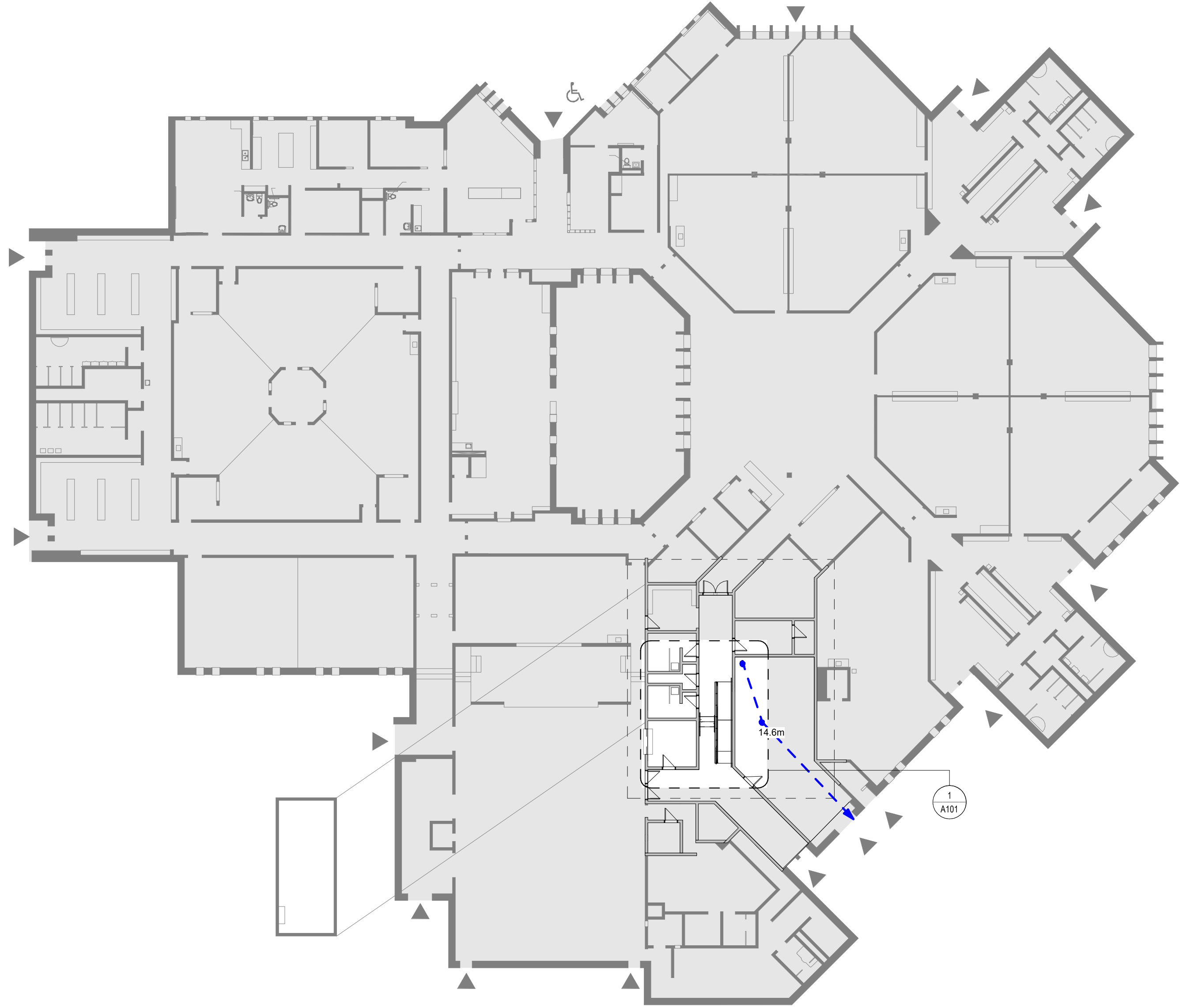
SCALE:	As indicated	SHEET NO:	
DATE:	09/18/18		
PROJECT NO:	2022-0883-11		
DRAWN BY:	Author		
CHECKED BY:	EW/MM		

**A001**





**1 PARTIAL FLOOR PLAN DEMOLITION**  
A100 Scale: 1 : 50



**2 OVERALL FLOOR PLAN**  
A100 Scale: 1 : 250

**GENERAL DEMOLITION NOTES:**

- A. DRAWING TO BE READ IN CONJUNCTION W/ ALL OTHER CONTRACT DOCUMENTS INCLUDING ABATEMENT SPECIFICATION. COORDINATE W/ OTHER TRADES PRIOR TO COMMENCING WORK.
- B. CARRY OUT ALL DEMOLITION, REMOVAL AND DISPOSAL IN ACCORDANCE WITH APPLICABLE PROVINCIAL AND LOCAL REGULATIONS.
- C. EXECUTE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT STRUCTURES AND FINISHES.
- D. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO GUARD AGAINST MOVEMENT OR SETTLEMENT OF THE REMAINING STRUCTURE, INCLUDING ALL NECESSARY BRACING OR SHORING THAT IS REQUIRED.
- E. ALL DEMOLITION DEBRIS TO BE REMOVED AND DISPOSED OF PER PROVINCIAL AND LOCAL REGULATIONS.
- F. CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE FOR, AND MAKE GOOD ALL DAMAGE TO ADJACENT FINISHED SURFACES AND ASSEMBLIES.
- G. CONTRACTOR TO ENSURE ALL EXIT SIGNAGE TO REMAIN AS INSTALLED AND ENSURE FIXTURES ARE OPERATIONAL. CONTRACTOR TO PROVIDE RE-SUPPORT AS REQUIRED TO SUIT PHASING.
- H. CONTRACTOR TO ENSURE ALL EMERGENCY LIGHT FIXTURES TO REMAIN ALONG EGRESS ROUTES.
- I. PATCH AND MAKE GOOD ANY DAMAGED FIRE ASSEMBLIES WITH CONTINUOUS FIRESTOPPING/FIREBLOCKING EQUAL TO THAT OF WALL/FLOOR.
- J. CONTRACTOR TO ENSURE ALL MANUAL PULL STATIONS AND FIRE ALARM BELLS REMAIN OPERATIONAL, IF A DEVICE MUST BE REMOVED, THE DEVICE MUST BE PROPERLY DE-PROGRAMMED BY LICENSED FIRE ALARM TECHNICIAN AND RE-ACTIVATED AT END OF WORKING DAY. FIRE WATCH MUST BE PROVIDED BY DEMOLITION/ABATEMENT TRADE WITHOUT ADDITIONAL COST TO OWNER OR CONSULTANT.
- K. CONTRACTOR TO PROVIDE DUST CONTROL AND HOARDING IN ISOLATED DEMOLITION, TYP. FOR EACH LOCATION.
- L. CONTRACTOR SHALL PATCH AND MAKE GOOD ALL FLOORS WHERE DISTURBED BY REMOVAL OF WALL ASSEMBLY AND/OR EXISTING FINISHES.
- M. IF AN ITEM IS NOT NOTED TO BE REINSTALLED OR TURNED OVER TO THE OWNER, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DISPOSE OF ITEMS.
- N. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW ALL DESIGNATED SUBSTANCES DOCUMENTATION PRIOR TO COMMENCING WORK.
- O. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMOVE ALL LOOSE FURNITURE AND WALL MOUNTED DISPLAYS PRIOR TO CONSTRUCTION START.
- P. ANY MECHANICAL OR ELECTRICAL DEVICES THAT MAY BE TEMPORARILY REMOVED AND REINSTALLED FOR THIS WORK SHALL BE TESTED.
- Q. LOCATE AND DISCONNECT, CAP AND PLUG ALL GAS, WATER, SEWER, HYDRO, TELEPHONE AND OTHER SERVICES AS REQUIRED.
- R. PREPARE ALL THE SURFACES TO BE ACCEPTABLE FOR PROPOSED FINISHING AFTER DEMOLITION WORKS
- S. OBTAIN SCHOOL APPROVAL OF DEMOLITION SCHEDULE AND LOCATION OF BINS.

**DEMOLITION NOTES**

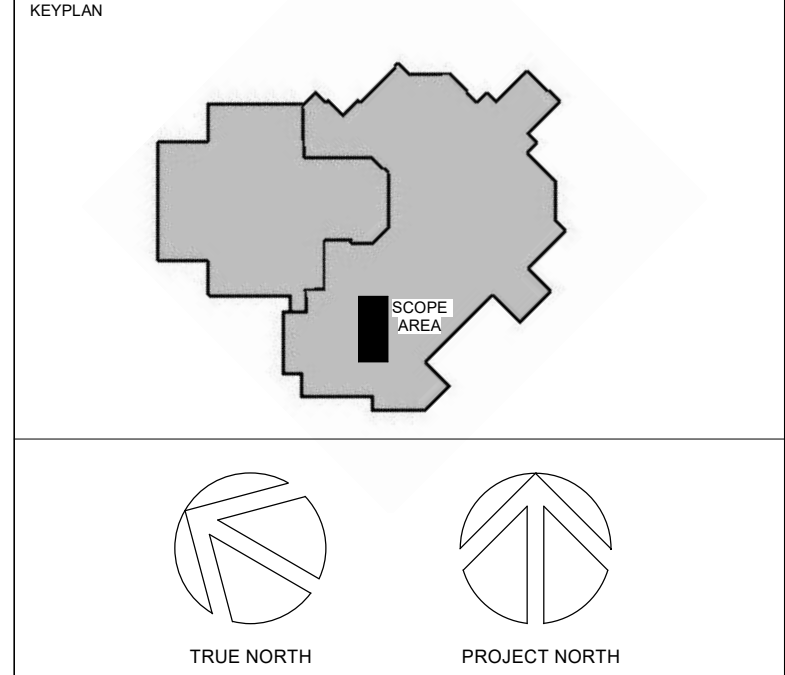
- 1 REMOVE AND DISPOSE OF EXISTING METAL STAIR AND LANDING COMPLETE. PATCH AND MAKE GOOD ALL ADJACENT SURFACES.
- 2 REMOVE EXISTING DOOR C/W FRAME AND ALL HARDWARE. PATCH AND MAKE GOOD ALL ADJACENT SURFACES TO REMAIN.
- 3 CAREFULLY REMOVE EXISTING TERRAZZO STAIRS, COMPLETE. PATCH AND REPAIR ADJACENT TERRAZZO SURFACES TO REMAIN.
- 4 EXISTING HEATING RADIATOR TO REMAIN UNDISTURBED.
- 5 REMOVE EXISTING TERRAZZO FLOORING TO ACCOMMODATE THE NEW RAMP. PATCH AND REPAIR EXISTING TERRAZZO FLOOR FINISH AND BASE TO MATCH EXISTING.
- 6 LINE OF CONCRETE SAWCUT TO NOT GO BEYOND NOTED LIMITS. REMOVE TERRAZZO IN BETWEEN JOINTS. TERRAZZO BASE TO REMAIN BEYOND SAWCUT LIMITS.
- 7 REMOVE AND DISPOSE OF EXISTING WALL MOUNTED HANDRAILS.

**DRAWING LEGEND:**

- DOOR, FRAME/SIDELIGHT TO BE REMOVED. REFER TO DEMOLITION NOTES FOR SPECIFIC SCOPE.
- WALL ASSEMBLY TO BE REMOVED. REFER TO DEMOLITION NOTES FOR SPECIFIC SCOPE.
- DENOTES EXISTING DOOR TO REMAIN UNDISTURBED.
- DENOTES EXISTING WALL TO REMAIN.
- HATCH DENOTES AREA NOT IN SCOPE OF ARCHITECTURAL WORK - TYPICAL
- HATCHED AREA DENOTES APPROXIMATE EXTENT OF REMOVAL OF TERRAZZO FLOORING AND EXTENT TO SAWCUT AND REMOVE PORTION OF SLAB-ON-GRADE CONCRETE SLAB. CONTRACTOR TO SITE VERIFY THE EXTENT OF REMOVAL.

**ROOM LEGEND**

- 100 HEATING ROOM
- 101 CUSTODIAN ROOM
- 102 STORAGE
- 103 SUPPLY ROOM
- 105 BARRIER-FREE WASHROOM
- 106 CUSTODIAN ROOM
- 107 BARRIER-FREE WASHROOM
- 108 KITCHEN
- 109 CORRIDOR



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1	ISSUED FOR 60% OWNER REVIEW	2024-03-14
2	ISSUED FOR 90% OWNER REVIEW	2024-03-26
3	ISSUED FOR BID AND PERMIT	2024-04-03

CLIENT  
**WATERLOO REGION DISTRICT SCHOOL BOARD**  
51 ARDELT AVE, KITCHENER, ON N2C 2R5

PROJECT  
**CEDARBRAE P.S. INTERIOR BARRIER-FREE RAMP**  
230 CEDARBRAE AVE, WATERLOO ON N2L 4S7

TITLE  
**DEMOLITION FLOOR PLAN**

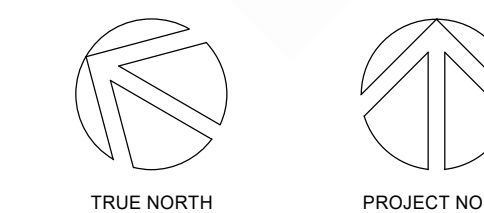
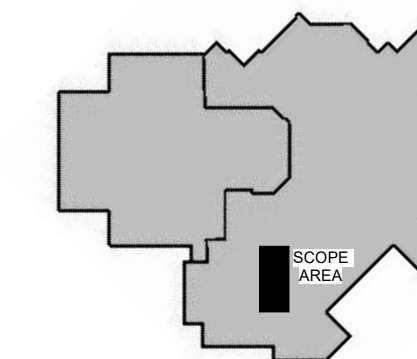
**WALTERFEDY**  
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SCALE:	As indicated	SHEET NO:	<b>A100</b>
DATE:	09/18/18		
PROJECT NO:	2022-0883-11		
DRAWN BY:	HA/AD		
CHECKED BY:	EW/MM		





No.	ISSUANCE	DATE
1	ISSUED FOR 60% OWNER REVIEW	2024-03-14
2	ISSUED FOR 90% OWNER REVIEW	2024-03-26
3	ISSUED FOR BID AND PERMIT	2024-04-03
4	RE-ISSUED FOR PERMIT	2024-05-23

**WATERLOO REGION DISTRICT SCHOOL BOARD**

51 ARDEL AVE, KITCHENER, ON N2C 2R5

**CEDARBRAE P.S. INTERIOR BARRIER-FREE RAMP**

230 CEDARBRAE AVE, WATERLOO ON N2L 4S7

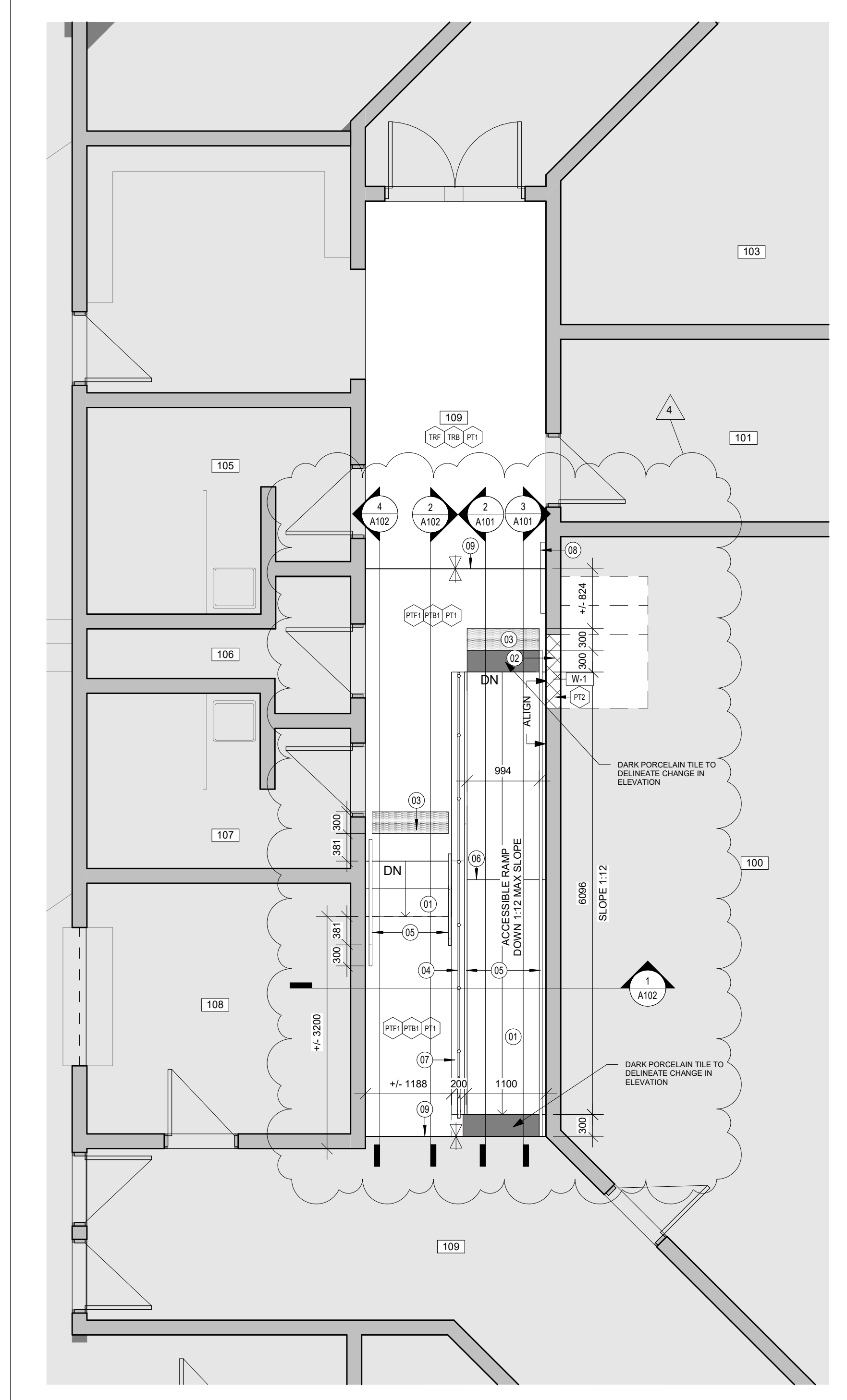
**ENLARGED FLOOR PLAN AND DETAILS**

**WALTERFEDY**  
KITCHENER | HAMILTON | TORONTO  
800.685.1378 walterfedycan.com

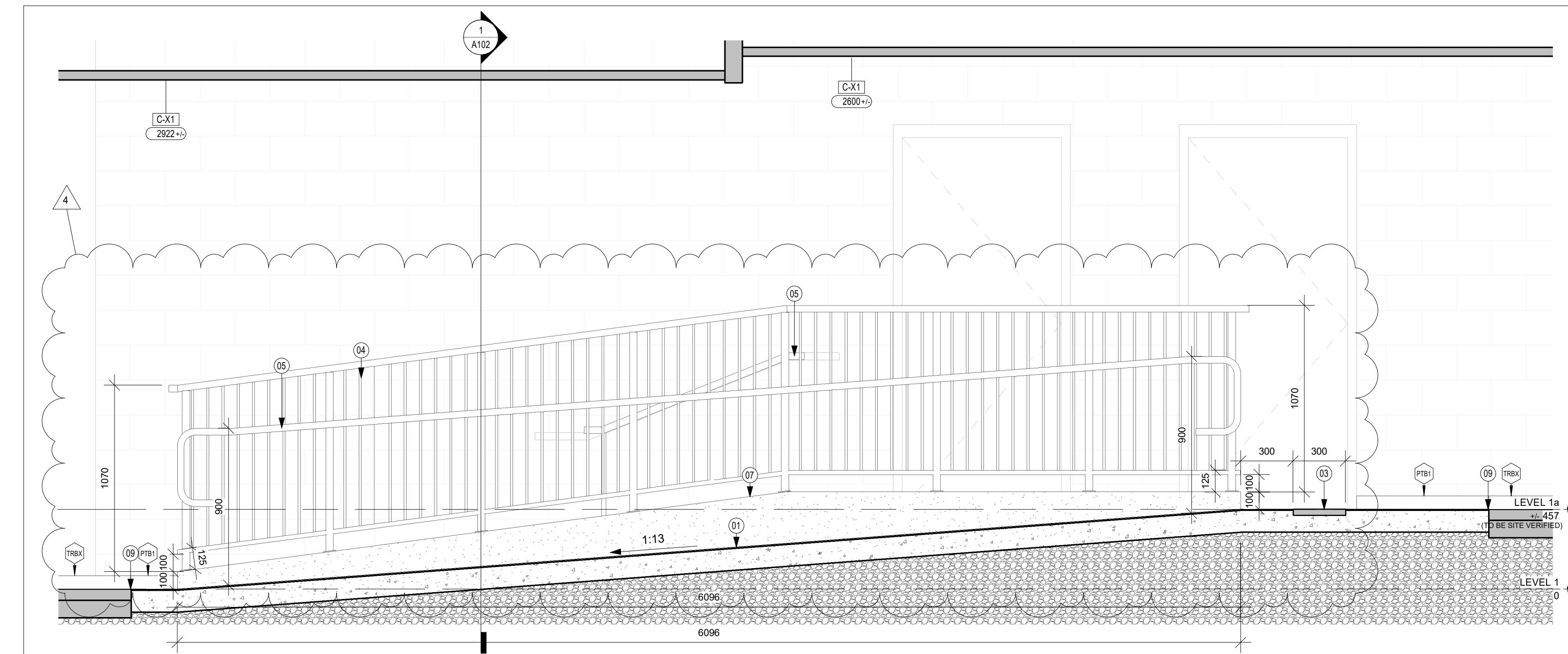


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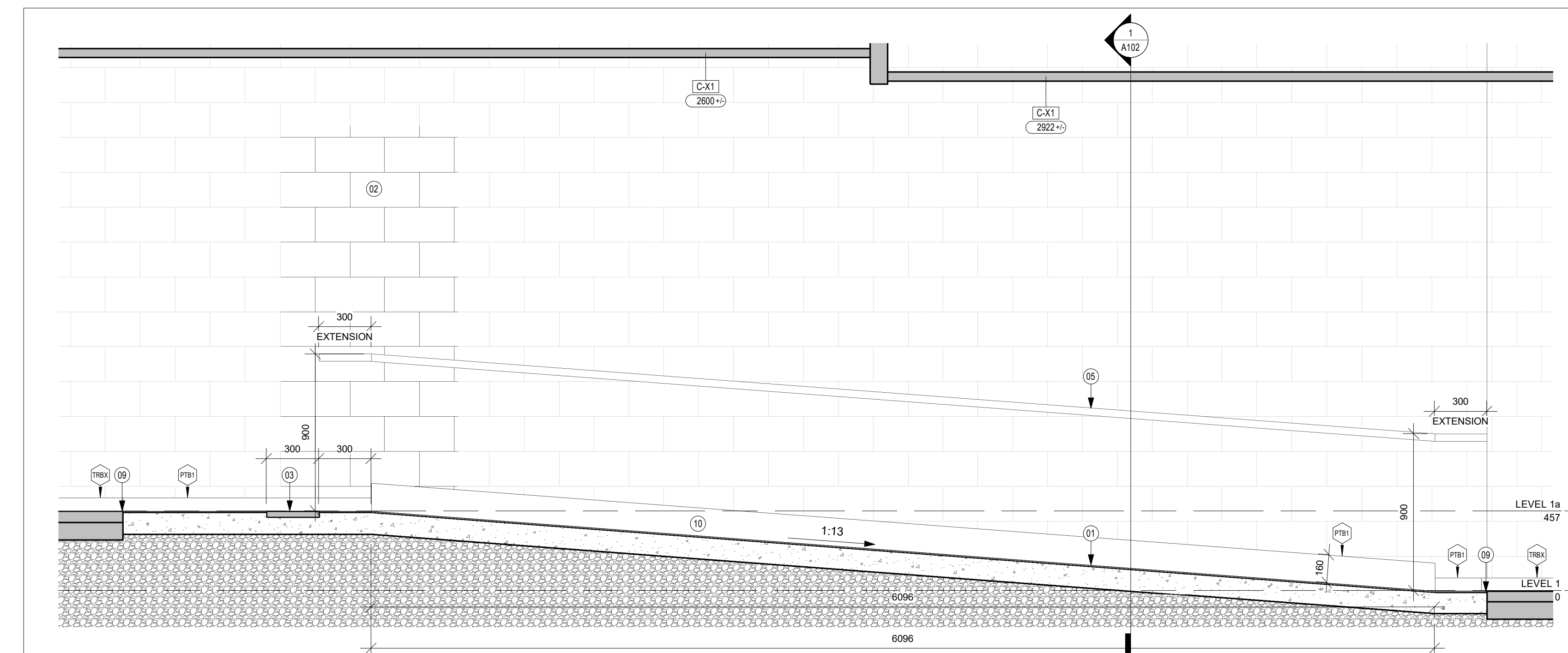
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DATE:	01/04/2024	<b>A101</b>
PROJECT NO.:	2022-0883-11	
DRAWN BY:	HA/AD	
CHECKED BY:	EW/MM	



**1 PARTIAL RENOVATION FLOOR PLAN**  
A101 Scale: 1 : 50



**2 INTERIOR BARRIER-FREE RAMP SECTION 1**  
A101 Scale: 1 : 20



**3 INTERIOR BARRIER-FREE RAMP SECTION 2**  
A101 Scale: 1 : 20

- GENERAL DRAWING NOTES:**
- A. ASSEMBLY CONSTRUCTION READ FROM TAG SIDE OF ASSEMBLY.
  - B. ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS.
  - C. DIMENSIONING TO/FROM EXISTING CONDITIONS SHALL BE AT FACE OF EXISTING ASSEMBLY.
  - D. CONTRACTOR TO PROTECT ALL EXISTING INTERIOR FINISHES, MECHANICAL, ELECTRICAL, MILLWORK AND FURNITURE TO REMAIN DURING ALL PHASES OF CONSTRUCTION.
  - E. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REFER TO ASBESTOS AUDIT PRIOR TO DEMOLITION WORKS.
- ROOM LEGEND:**
- 100 HEATING ROOM
  - 101 CUSTODIAN ROOM
  - 102 STORAGE
  - 103 SUPPLY ROOM
  - 105 BARRIER-FREE WASHROOM
  - 106 CUSTODIAN ROOM
  - 107 BARRIER-FREE WASHROOM
  - 108 KITCHEN
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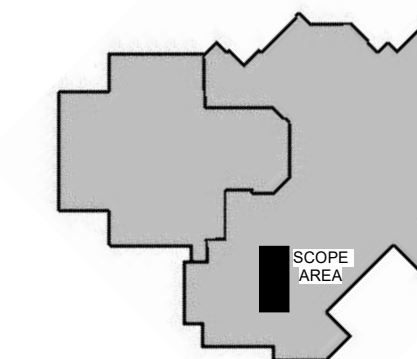
- DRAWING LEGEND:**
- DOOR, FRAME/SIDELIGHT TO BE REMOVED. REFER TO DEMOLITION NOTES FOR SPECIFIC SCOPE.
  - WALL ASSEMBLY TO BE REMOVED. REFER TO DEMOLITION NOTES FOR SPECIFIC SCOPE.
  - DENOTES EXISTING DOOR TO REMAIN UNDISTURBED.
  - DENOTES EXISTING WALL TO REMAIN.
  - HATCH DENOTES AREA NOT IN SCOPE OF ARCHITECTURAL WORK - TYPICAL
  - HATCHED AREA DENOTES APPROXIMATE EXTENT OF REMOVAL OF TERRAZZO FLOORING AND EXTENT TO SAWCUT AND REMOVE PORTION OF SLAB-ON-GRADE CONCRETE SLAB. CONTRACTOR TO SITE VERIFY THE EXTENT OF REMOVAL.

- WALL ASSEMBLIES**
- EXISTING CONCRETE BLOCK.
  - 190mm CONCRETE BLOCK TO MATCH EXISTING ADJACENT WALL.
- CEILING ASSEMBLIES**
- EXISTING 610 x 1220 ACOUSTIC CEILING TILE ASSEMBLY WITH EXISTING METAL T-BAR SUSPENSION SYSTEM. TO REMAIN UNDISTURBED

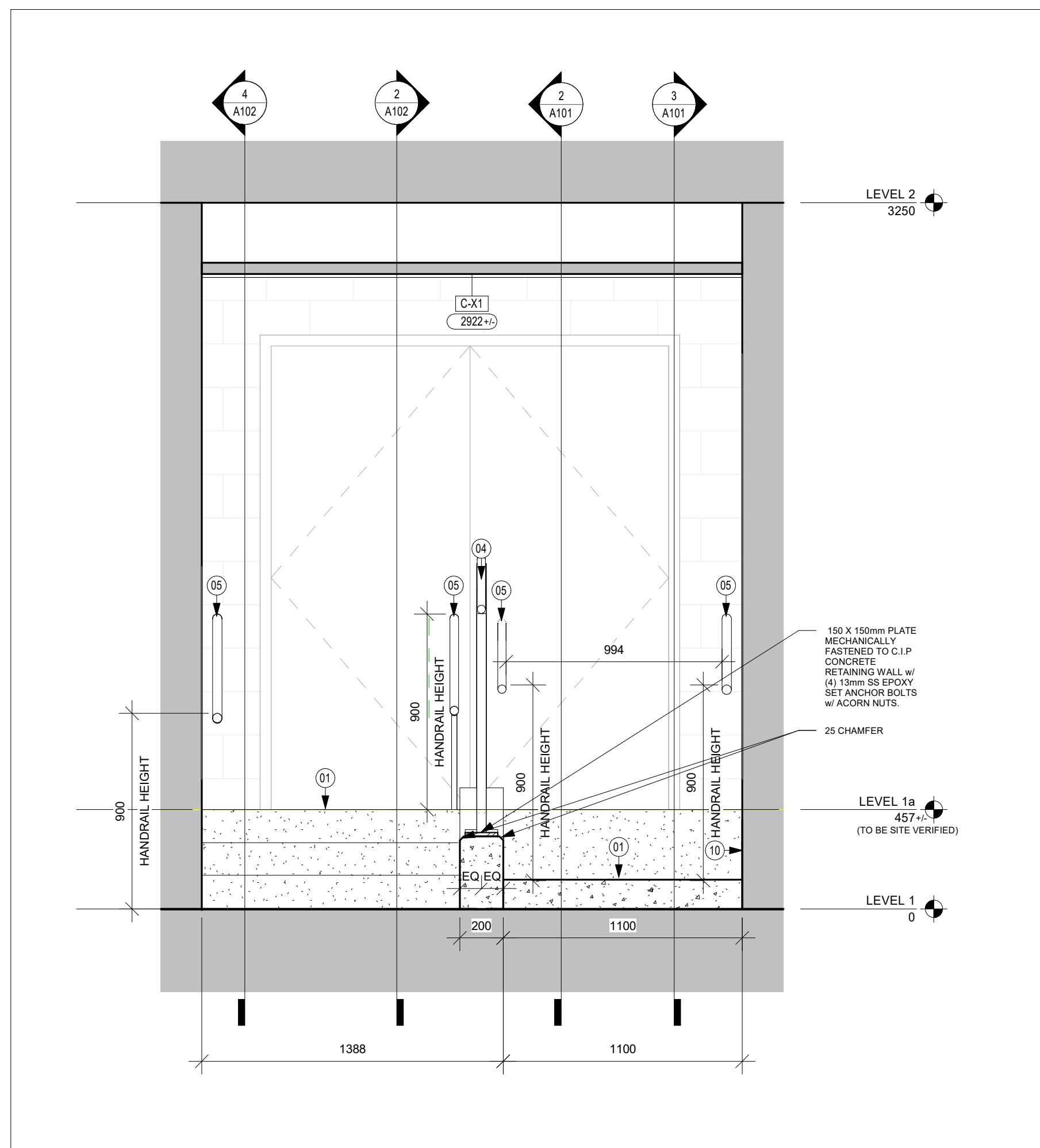
- FINISH LEGEND**
- WALL & CEILING**
- PAINT TO MATCH EXISTING
  - PAINT TO MATCH EXISTING
- FLOOR:**
- PORCELAIN FLOOR TILE
  - EXISTING TERRAZZO FLOORING
- BASE:**
- PORCELAIN TILE BASE
  - EXISTING TERRAZZO BASE
  - TRANSITION STRIP

- DRAWING NOTES**
- 01 NEW CONCRETE RAMP AND STAIRS TO BE FINISHED WITH PORCELAIN TILE. REFER TO STRUCTURAL.
  - 02 INFILL EXISTING OPENING WITH CONCRETE TOOTH-IN BLOCK. PATCH AND PAINT ENTIRE WALL, INCLUDING EXISTING SURFACES.
  - 03 CAST-IN PLACE TACTILE WALKING SURFACE INDICATOR.
  - 04 STAINLESS STEEL GUARD. 38mm STAINLESS PIPE TOP AND BOTTOM RAIL, 38mm STAINLESS PIPE POSTS SECURED TO CONCRETE CURB, 12mm DIAMETER STAINLESS PICKETS @100mm o.c. MAX.
  - 05 38mm STAINLESS PIPE HANDRAIL.
  - 06 SAWCUT CONTROL JOINT IN CONCRETE RAMP.
  - 07 EXPOSED WALL BEYOND TILE BASE. REFER TO SPECS FOR FINISHING REQUIREMENTS.
  - 08 EXISTING HEATING RADIATOR TO REMAIN UNDISTURBED.
  - 09 LINE OF SLAB-ON-GRADE CONCRETE SLAB SAWCUT. PORCELAIN TILE AND EXISTING TERRAZZO FLOOR FINISH TO BE FLUSH.
  - 10 PORCELAIN TILE BASE TO COVER ROUGH CONCRETE BLOCK EXPOSED FROM SLAB AND STAIR DEMOLITION. CONTINUE METAL TRIM TRANSITION AT ALL VERTICAL STEPS AND BETWEEN EXISTING AND NEW BASES. REFER TO SPECIFICATIONS FOR TRIM.



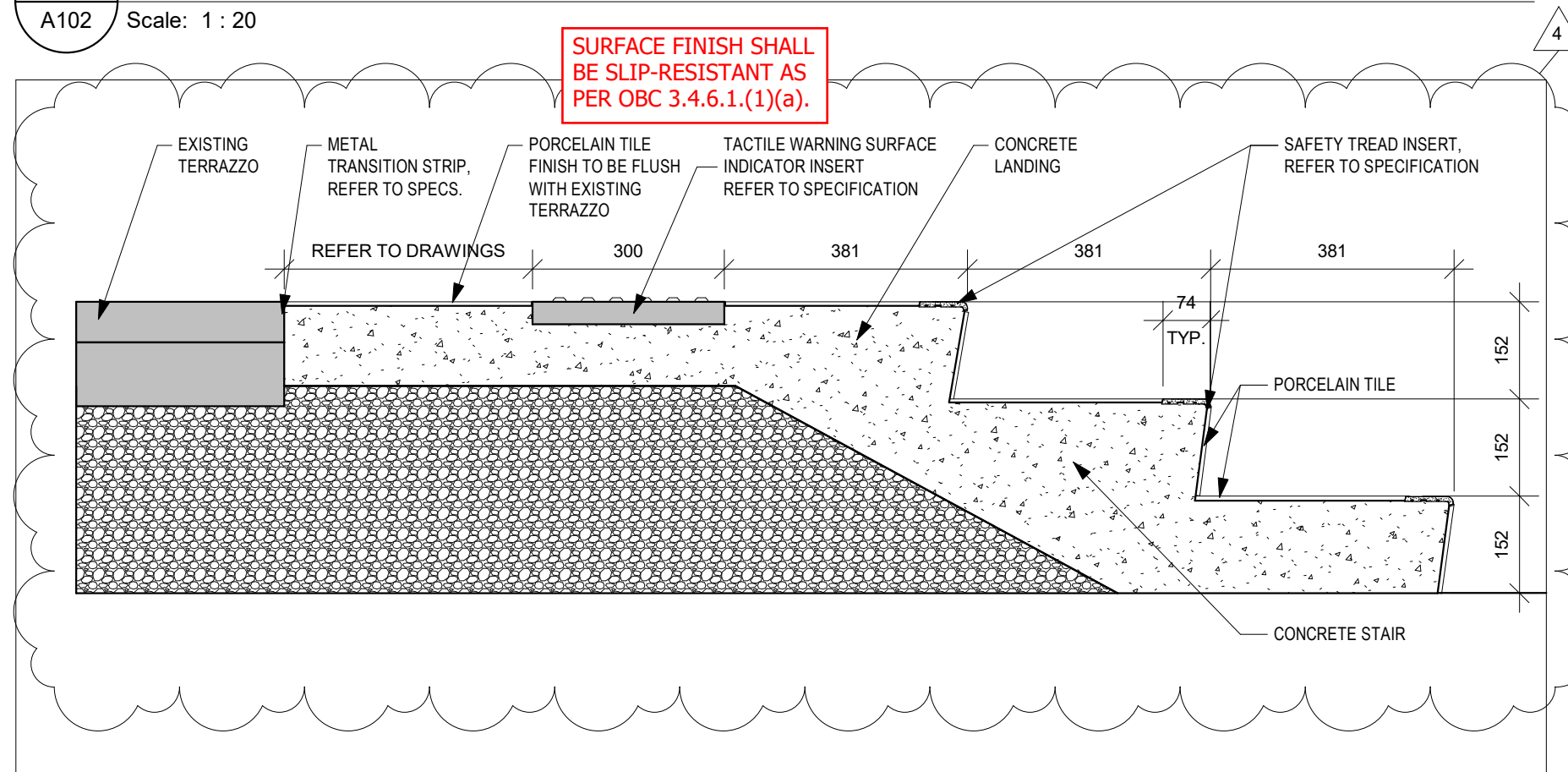


No.	ISSUANCE	DATE
1	ISSUED FOR 60% OWNER REVIEW	2024-03-14
2	ISSUED FOR 90% OWNER REVIEW	2024-03-26
3	ISSUED FOR BID AND PERMIT	2024-04-03
4	RE-ISSUED FOR PERMIT	2024-05-23



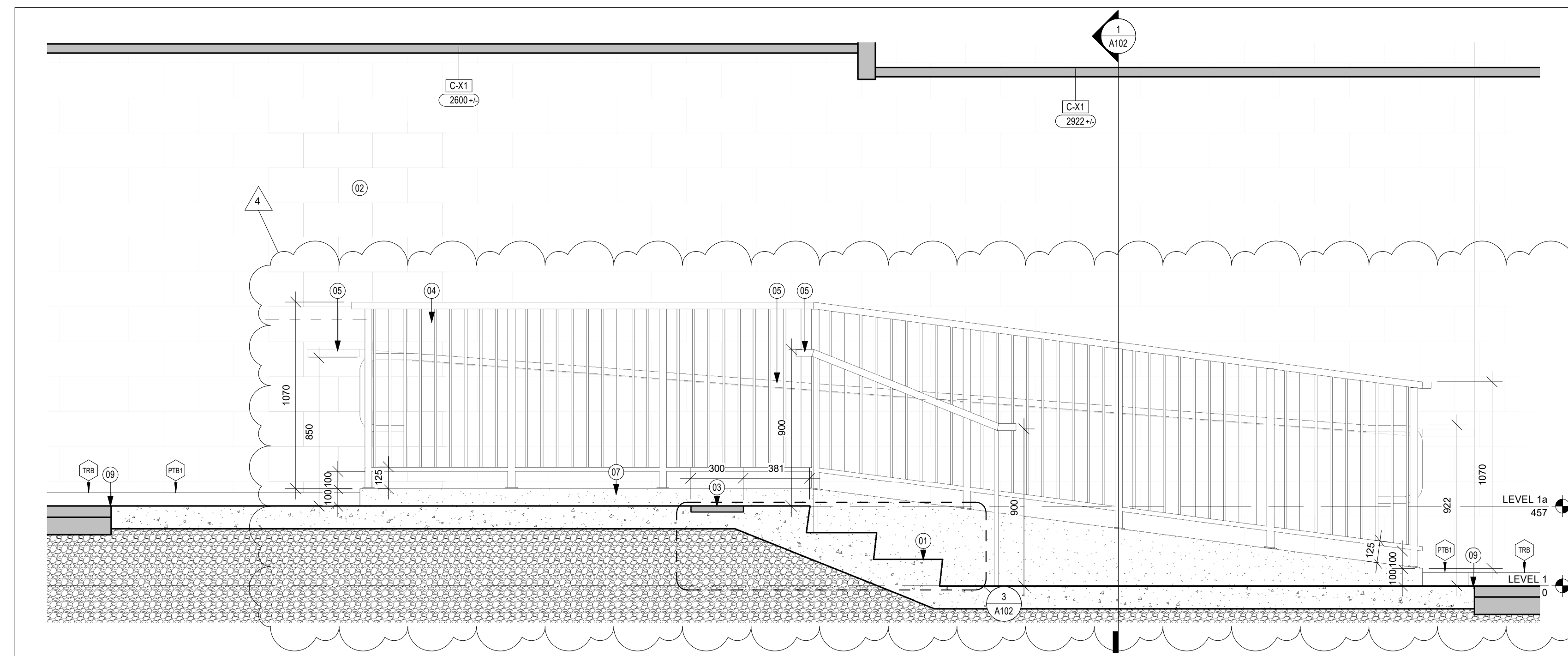
1 INTERIOR BARRIER FREE RAMP AND STAIR SECTION

A102 Scale: 1 : 20



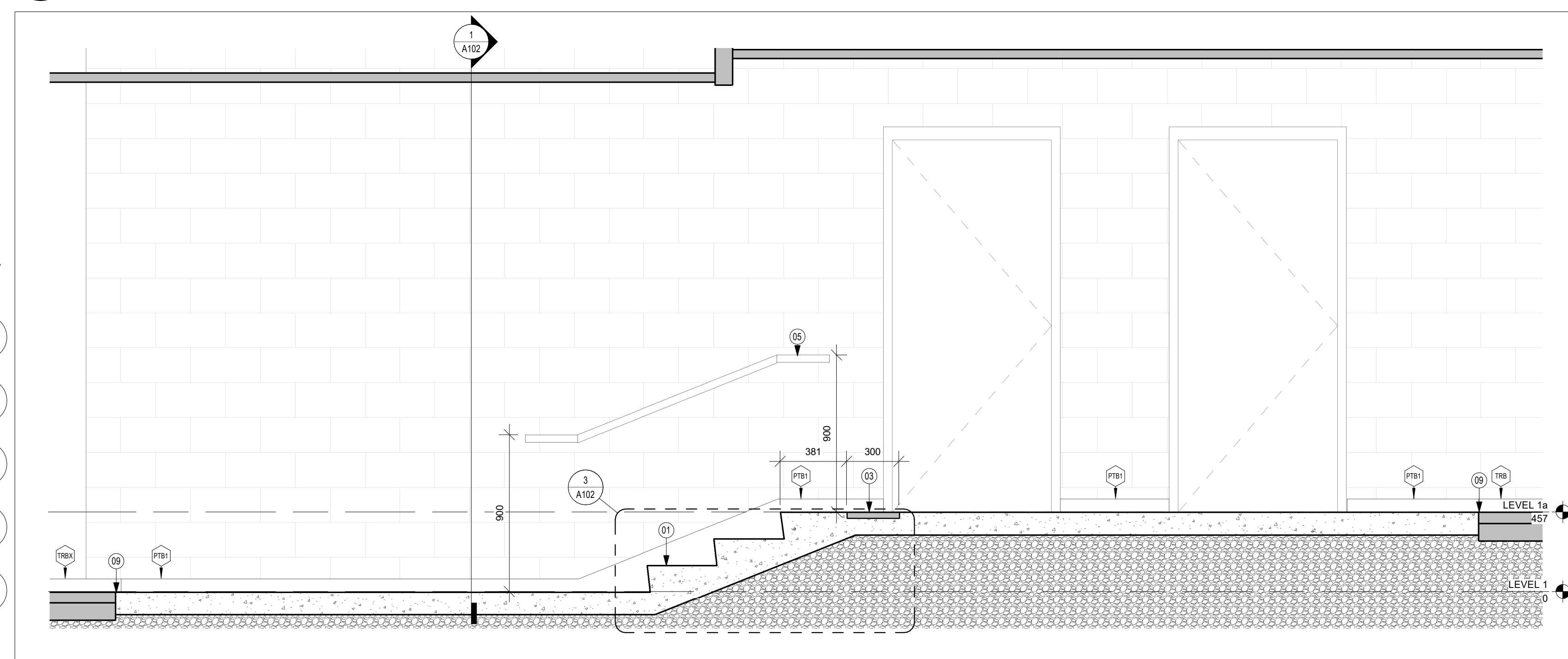
3 TACTILE WARNING PLATE AND STAIR SAFETY TREAD INSERT DETAIL

A102 Scale: 1 : 10



2 STAIR SECTION 1

A102 Scale: 1 : 20



4 STAIR SECTION 2

A102 Scale: 1 : 20

**GENERAL DRAWING NOTES:**

- A. ASSEMBLY CONSTRUCTION READ FROM TAG SIDE OF ASSEMBLY.
- B. ALL DIMENSIONS ARE APPROXIMATE, CONTRACTOR TO SITE VERIFY ALL DIMENSIONS.
- C. DIMENSIONING TO/FROM EXISTING CONDITIONS SHALL BE AT FACE OF EXISTING ASSEMBLY.
- D. CONTRACTOR TO PROTECT ALL EXISTING INTERIOR FINISHES, MECHANICAL, ELECTRICAL, MILLWORK AND FURNITURE TO REMAIN DURING ALL PHASES OF CONSTRUCTION.
- E. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REFER TO ASBESTOS AUDIT PRIOR TO DEMOLITION WORKS.

**ROOM LEGEND:**

100	HEATING ROOM
101	CUSTODIAN ROOM
102	STORAGE
103	SUPPLY ROOM
105	BARRIER-FREE WASHROOM
106	CUSTODIAN ROOM
107	BARRIER-FREE WASHROOM
108	KITCHEN
109	CORRIDOR

**DRAWING LEGEND:**

- HATCH DENOTES AREA NOT IN SCOPE OF ARCHITECTURAL WORK - TYPICAL
- EXISTING TO BE DEMOLISHED SHOWN DASHED

**WALL ASSEMBLIES**

- EXISTING CONCRETE BLOCK.
- 190mm CONCRETE BLOCK TO MATCH EXISTING ADJACENT WALL.

**CEILING ASSEMBLIES**

- EXISTING 610 x 1220 ACOUSTIC CEILING TILE ASSEMBLY WITH EXISTING METAL T-BAR SUSPENSION SYSTEM. TO REMAIN UNDISTURBED

**FINISH LEGEND**

- PAINT TO MATCH EXISTING
- PAINT TO MATCH EXISTING

**FLOOR:**

- PORCELAIN FLOOR TILE
- EXISTING TERRAZZO FLOORING

**BASE:**

- PORCELAIN TILE BASE
- EXISTING TERRAZZO BASE
- TRANSITION STRIP

**DRAWING NOTES**

- 01 NEW CONCRETE RAMP AND STAIRS TO BE FINISHED WITH PORCELAIN TILE. REFER TO STRUCTURAL.
- 02 INFILL EXISTING OPENING WITH CONCRETE TOOTH-IN BLOCK. PATCH AND PAINT ENTIRE WALL, INCLUDING EXISTING SURFACES.
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- 09 LINE OF SLAB-ON-GRADE CONCRETE SLAB SAWCUT. PORCELAIN TILE AND EXISTING TERRAZZO FLOOR FINISH TO BE FLUSH.
- 10 PORCELAIN TILE BASE TO COVER ROUGH CONCRETE BLOCK EXPOSED FROM SLAB AND STAIR DEMOLITION. CONTINUE METAL TRIM TRANSITION AT ALL VERTICAL STEPS AND BETWEEN EXISTING AND NEW BASES. REFER TO SPECIFICATIONS FOR TRIM.

WATERLOO REGION DISTRICT SCHOOL BOARD

51 ARDELT AVE, KITCHENER, ON N2C 2R5

CEDARBRAE P.S. INTERIOR BARRIER-FREE RAMP

230 CEDARBRAE AVE, WATERLOO ON N2L 4S7

SECTION DETAILS

**WALTERFEDY**

KITCHENER | HAMILTON | TORONTO

800.685.1378 walterfedy.com



REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

SCALE:	As indicated	SHEET NO.:	A102
DATE:	03/26/2024		
PROJECT NO.:	2022-0883-11		
DRAWN BY:	HA/AD		
CHECKED BY:	EW/MM		



A. GENERAL

- 1. MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE AND ANY APPLICABLE ACTS OF THE AUTHORITY HAVING JURISDICTION.
2. READ THE STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE SPECIFICATIONS, AND ALL OTHER CONTRACT DOCUMENTS.
3. VERIFY ALL STRUCTURAL DIMENSIONS WITH THE CIVIL, ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS, REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
4. THE MOST STRINGENT REQUIREMENT GOVERNS WHERE DISCREPANCIES OCCUR WITHIN THE CONTRACT DOCUMENTS, INCLUDING APPLICABLE CODES, STANDARDS AND ACTS.
5. REFER TO THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS AND SIZES OF OPENINGS, DEPRESSIONS, GROOVES, CURBS, CHAMFERS, SLOPES, SLEEVES, EQUIPMENT BASES, HOUSEKEEPING PADS, TRENCHES, SUMP PITS AND EMBEDDED ITEMS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
6. OPENINGS AND SLEEVES SHOWN ARE LOCATED AND DIMENSIONED FOR STRUCTURAL DETAILING PURPOSES ONLY. COORDINATE THE EXACT SIZES AND LOCATIONS WITH THE CONSULTANT AND APPLICABLE TRADES DURING CONSTRUCTION. REPORT ANY CONFLICTS TO THE CONSULTANT.
7. DO NOT CUT, DRILL OR ALTER STRUCTURAL MEMBERS WITHOUT PERMISSION FROM THE CONSULTANT, UNLESS NOTED ON THE DRAWINGS.
8. THE STRUCTURAL DRAWINGS ARE FOR THE COMPLETED PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, TEMPORARY WORKS AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
9. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LOADS SHOWN ON THE DRAWINGS.
10. PROVIDE ALL TEMPORARY SHORING, BRACING, HOARDING AND PROTECTION NECESSARY TO COMPLETE THE WORK AND COMPLY WITH APPLICABLE REGULATIONS. TEMPORARY WORKS TO BE DESIGNED AND INSPECTED BY A PROFESSIONAL ENGINEER WHO IS RETAINED BY THE CONTRACTOR.
11. TEMPORARY SHORING IS SHOWN CONCEPTUALLY ON THE STRUCTURAL DRAWINGS WHERE NECESSARY TO PROVIDE DESIGN LOADS FOR DESIGN OF SHORING SYSTEMS, ILLUSTRATE DESIGN INTENT, OR TO INDICATE REQUIREMENTS FOR MAINTAINING STABILITY OF THE STRUCTURE. IT DOES NOT REPRESENT A COMPLETE SHORING SYSTEM, NOR ALL THE TEMPORARY WORKS NECESSARY TO COMPLETE CONSTRUCTION OF THE PROJECT.

B. EXISTING CONDITIONS

- 1. EXISTING STRUCTURE AND DIMENSIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE, AND ARE PROVIDED TO CONVEY DESIGN INTENT ONLY. THE DESIGN IS BASED ON THE INFORMATION CONTAINED IN THE RECORD DRAWINGS FOR THE EXISTING BUILDINGS, AND ON LIMITED SITE OBSERVATIONS. VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING THE WORK. NOTIFY THE CONSULTANT OF ANY DISCREPANCIES OR CONDITIONS ENCOUNTERED THAT COULD POTENTIALLY AFFECT THE WORK, AND OBTAIN DIRECTION BEFORE PROCEEDING.
2. LOCATE ALL EXISTING BURIED UTILITIES AND STRUCTURES. REFER TO CIVIL, MECHANICAL, AND ELECTRICAL DOCUMENTS FOR APPROXIMATE LOCATION OF ALL PROPOSED AND KNOWN EXISTING SERVICES. REMOVE, RELOCATE OR PROVIDE PROTECTION DURING CONSTRUCTION, AS DIRECTED BY THE CONSULTANT.
3. PROTECT EXISTING STRUCTURES FROM DAMAGE DURING CONSTRUCTION. PATCH AND MAKE GOOD ALL EXISTING BUILDING ELEMENTS DISTURBED OR DAMAGED AS PART OF THE WORK.

C. DEMOLITION

- 1. CARRY OUT ALL DEMOLITION, REMOVAL AND DISPOSAL IN ACCORDANCE WITH APPLICABLE PROVINCIAL AND LOCAL REGULATIONS.
2. PROTECT ADJACENT STRUCTURES, FINISHES AND SERVICES FROM DAMAGE DURING DEMOLITION WORK.
3. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO GUARD AGAINST MOVEMENT OR SETTLEMENT OF THE REMAINING STRUCTURE, INCLUDING ALL NECESSARY BRACING OR SHORING THAT IS REQUIRED.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND MAKE MODIFICATIONS TO SUIT EXISTING SITE CONDITIONS.
5. SCAN CONCRETE FOR EMBEDDED CONDUIT OR SERVICES PRIOR TO DEMOLITION/SAW-CUTTING.
6. WHEN PERFORMING SLAB-ON-GRADE AND STAIR REMOVALS, CONTRACTOR SHALL TAKE CARE NOT TO UNDERMINE ADJACENT EXISTING BLOCK WALLS AND SLAB-ON-GRADE. PROVIDE TEMPORARY SHORING AS REQUIRED.
7. REPORT ALL DISCREPANCIES TO THE ENGINEER FOR CONFIRMATION/CLARIFICATION PRIOR TO COMMENCEMENT OF ANY DEMOLITION SCOPE.
8. ALL DEMOLITION DEBRIS TO BE DISPOSED OF OFF SITE.
9. DEMOLITION CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE FOR AND MAKE GOOD ALL DAMAGE TO ADJACENT FINISHED SURFACES AND ASSEMBLIES.

D. MATERIALS

- 1. STRUCTURAL CONCRETE:
1.1. CONCRETE: CONFORMING TO CSA A23.1 AND PER THE CONCRETE DESIGN PROPERTIES TABLE.
1.2. REINFORCING BARS: CONFORMING TO CSA G30.18, GRADE 400R (OR 400W WHERE WELDING IS REQUIRED). ALL REINFORCING TO BE BLACK STEEL UNLESS NOTED.
1.3. WELDED WIRE REINFORCING: CONFORMING TO ASTM A185/A185M, WITH MINIMUM YIELD STRENGTH OF 450 MPa, OR 386 MPa FOR DIAMETERS LESS THAN MW7.7 (3.1mm).

E. FOUNDATIONS AND EARTHWORKS

- 1. CONFIRM LOCATION OF ALL OVERHEAD AND UNDERGROUND SERVICES PRIOR TO EXCAVATING, AND NOTIFY CONSULTANTS OF ANY CONFLICTS. PROVIDE PROTECTION AS REQUIRED TO EXISTING SERVICES.
2. CONSTRUCT FOOTINGS ON UNDISTURBED NATIVE SOIL, WITH A MINIMUM BEARING CAPACITY OF 25 KPa SLS. BEARING SURFACES SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER IMMEDIATELY BEFORE PLACING FOUNDATION CONCRETE.
3. THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS, OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10. MAXIMUM STEP SHALL BE 600 (2'-0").
4. KEEP EXCAVATIONS FREE OF WATER.
5. PROTECT EXISTING ADJACENT STRUCTURES AND SUBGRADE FROM DAMAGE OR DISTURBANCE DURING CONSTRUCTION. PROVIDE UNDERPINNING OR TEMPORARY SHORING WHERE NECESSARY TO PERFORM THE WORK.
6. USE HAND-OPERATED EQUIPMENT ONLY TO COMPACT SUBGRADE WITHIN 1800 (6'-0") OF FOUNDATION WALLS. USE OF HEAVY EQUIPMENT WITHIN THIS DISTANCE IS NOT PERMITTED.
7. EARTH-FORMED FOUNDATIONS ARE NOT PERMITTED UNLESS SHOWN ON THE DRAWINGS OR APPROVED BY THE CONSULTANT IN WRITING. PROVIDE MINIMUM 75 (3") COVER TO REINFORCING FOR EARTH FORMED SURFACES.
8. STOCKPILE EXCAVATED MATERIAL ON-SITE AS DIRECTED, AND REMOVE AND DISPOSE OF ALL MATERIAL THAT IS CONTAMINATED, UNSUITABLE FOR RE-USE, OR IN EXCESS OF THE WORK.

F. GENERAL REVIEW

- 1. WAL TERFEDY WILL PERFORM PERIODIC FIELD REVIEWS OF A REPRESENTATIVE SAMPLE OF THE WORK TO CONFIRM THAT THE WORK FOR WHICH WE ARE RESPONSIBLE IS IN GENERAL CONFORMANCE WITH THE DRAWINGS AND SPECIFICATIONS.
2. GENERAL REVIEW OF WORK DESIGNED BY OTHER PROFESSIONAL ENGINEERS (STAMPED SHOP DRAWINGS) IS TO BE PERFORMED BY THE ENGINEER RESPONSIBLE FOR THAT DESIGN. SUBMIT FIELD REVIEW REPORTS TO THE CONSULTANT.
3. COOPERATE WITH CONSULTANTS AND INDEPENDENT INSPECTION AND TESTING AGENCIES RETAINED TO PERFORM FIELD REVIEW. PROVIDE ACCESS AND ASSISTANCE AS REQUIRED FOR THE SAFE PERFORMANCE OF THEIR WORK.
4. PROVIDE REASONABLE NOTICE FOR FIELD REVIEWS AND INSPECTIONS OF COMPLETED WORK, PRIOR TO CONCEALING OR ATTACHING TO THE WORK.
5. FIELD REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ACCURACY, QUALITY AND CONFORMANCE OF THE WORK WITH THE CONTRACT DOCUMENTS.

G. SUBMITTALS

- 1. SUBMIT THE FOLLOWING ERECTION AND FABRICATION SHOP DRAWINGS TO THE CONSULTANT FOR REVIEW PRIOR TO FABRICATION:
1.1. CONCRETE REINFORCING BARS
1.2. CONCRETE MIX DESIGN
1.3. ALL TESTING AND FIELD REPORTS PERFORMED BY OTHERS
2. SHOP DRAWINGS WILL BE REVIEWED SOLELY TO ASCERTAIN GENERAL CONFORMANCE WITH THE DESIGN CONCEPT. THE CONSULTANT'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWING OR RESPONSIBILITY FOR MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

H. TESTING AND INSPECTION

- 1. AN INDEPENDENT TESTING AND INSPECTION COMPANY WILL BE RETAINED ON BEHALF OF THE OWNER TO PERFORM QUALITY ASSURANCE VERIFICATION OF THE WORK. COORDINATE TESTING AND INSPECTION OF THE WORK, AND ENSURE COPIES OF ALL INSPECTION REPORTS ARE DISTRIBUTED TO THE CONSULTANT AND OWNER IN A TIMELY MANNER.
2. COOPERATE WITH CONSULTANTS AND INDEPENDENT INSPECTION AND TESTING AGENCIES RETAINED TO PERFORM FIELD REVIEW. PROVIDE ACCESS AND ASSISTANCE AS REQUIRED FOR THE SAFE PERFORMANCE OF THEIR WORK.
3. TO ENSURE THAT FIELD REVIEWS OCCUR AT THE APPROPRIATE STAGE OF THE CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE WALTERFEDY WITH A CONSTRUCTION SCHEDULE PRIOR TO STARTING THE WORK, PERIODIC PROGRESS UPDATES, AND AT LEAST 48 HOURS NOTICE FOR SITE VISITS FOR THE FOLLOWING WORK:
3.1. PLACEMENT OF REBAR PRIOR TO PLACING CONCRETE.
4. TESTING AND INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING:
4.1. SUBGRADE BEARING CAPACITY
4.2. SUBGRADE COMPACTION
4.3. REINFORCING STEEL PLACEMENT
4.4. PLASTIC CONCRETE PROPERTIES
4.5. CONCRETE COMPRESSIVE STRENGTH
5. PROVIDE REASONABLE NOTICE FOR FIELD REVIEWS AND INSPECTIONS OF COMPLETED WORK, PRIOR TO CONCEALING OR ATTACHING TO THE WORK.
6. FIELD REVIEW, TESTING AND INSPECTION DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ACCURACY, QUALITY AND CONFORMANCE OF THE WORK WITH THE CONTRACT DOCUMENTS.

I. STRUCTURAL CONCRETE

- 1. PERFORM WORK IN ACCORDANCE WITH CSA A23.1 AND CSA A23.3.
2. DO NOT LOAD CONCRETE ELEMENTS UNTIL DESIGN STRENGTH HAS BEEN REACHED.
3. SUPPLY AND PLACEMENT:
3.1. CONCRETE IS SPECIFIED UNDER THE PERFORMANCE ALTERNATIVE AND RESPONSIBILITIES OF THE CONTRACTOR AND CONCRETE SUPPLIER, ARE AS DEFINED IN CSA A23.1 TABLE 5. THE CONTRACTOR SHALL WORK WITH THE SUPPLIER TO ESTABLISH THE CONCRETE MIX PROPERTIES TO MEET PERFORMANCE CRITERIA FOR PLASTIC AND HARDENED CONCRETE, CONSIDERING THE CONTRACTOR'S CRITERIA FOR CONSTRUCTION AND PLACEMENT AND THE SPECIFIED PERFORMANCE CRITERIA.
3.2. PROTECT CONCRETE FROM FREEZING AND HOT WEATHER IN ACCORDANCE WITH THE COLD AND HOT WEATHER CONCRETE PROCEDURES OF CSA A23.1.
3.3. PLACE CONCRETE IN A MANNER TO MINIMIZE SEGREGATION AND VIBRATE AFTER PLACEMENT.
4. REFER TO TYPICAL DETAILS FOR DETAILING OF REINFORCING, JOINTS AND DIMENSIONS.
5. REINFORCING:
5.1. DETAIL AND PLACE REINFORCING STEEL IN ACCORDANCE WITH CSA A23.1, CSA A23.3 AND THE REINFORCING STEEL INSTITUTE OF CANADA MANUAL OF STANDARD PRACTICE.
5.2. PROVIDE REINFORCING BAR EMBEDMENT AND LAP SPLICES IN ACCORDANCE WITH CSA A23.3, AND NOT LESS THAN THE VALUES IN THE CONCRETE REINFORCING EMBEDMENT AND LAP SPLICE LENGTHS TABLE.
5.3. PROVIDE LAP SPLICES FOR WELDED WIRE REINFORCEMENT AS FOLLOWS:
SPACING MINIMUM LAP
50x50 (2x2) 250 (10")
100x100 (4x4) 350 (14")
150x150 (6x6) 500 (18")
5.4. ALL TENSION LAP SPLICES ARE CLASS B UNLESS NOTED OTHERWISE.
5.5. PROVIDE DOWELS OF SAME SIZE AND SPACING WHERE REINFORCING IS SPLICED, AND AT FOUNDATIONS, UNLESS NOTED OTHERWISE.
5.6. DOWEL EMBEDMENT SHALL BE THE GREATER OF A STRAIGHT TENSION EMBEDMENT OR 600 (2'-0"), UNLESS NOTED OTHERWISE. DOWELS FOR FOOTINGS AND PILE CAPS SHALL HAVE STANDARD HOOKS AND EXTEND TO THE BOTTOM MAT OF REINFORCING BARS, UNLESS NOTED OTHERWISE.
5.7. DETAIL REINFORCING IDENTIFIED AS CONTINUOUS WITH CLASS B TENSION LAP SPLICES, TYPICAL CORNER BARS AT CORNERS AND INTERSECTIONS OF SIMILAR ELEMENTS, AND TERMINATE WITH STANDARD HOOKS.
5.8. REINFORCING LENGTHS, QUANTITIES, SPACING AND SIZES SHOWN IN TYPICAL DETAILS ARE MINIMUM REQUIREMENTS, UNLESS NOTED OTHERWISE.
5.9. FABRICATE AND INSTALL REINFORCING USED WITH COUPLERS AND END ANCHORS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
5.10. TIE AND SECURE ALL REINFORCING IN PLACE USING PURPOSE MADE ACCESSORIES, WITH MAXIMUM SPACING 1200 (48") BETWEEN SUPPORT POINTS, IN ORDER ACHIEVE SPECIFIED COVER AND MAINTAIN POSITION DURING CONCRETE PLACEMENT. PROVIDE SIDE CHAIRS IN ALL VERTICAL ELEMENTS.
5.11. REINFORCING STEEL SHALL BE FREE OF ALL DIRT, FORM OIL, SIGNIFICANT CORROSION, GREASE, AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING CONCRETE.
5.12. DO NOT FIELD-BEND OR FIELD-CUT REINFORCING STEEL UNLESS DETAILED ON THE DRAWINGS OR APPROVED BY THE CONSULTANT.
6. CONSTRUCTION AND CONTROL JOINTS:
6.1. JOINT LOCATIONS SHALL BE REVIEWED AND APPROVED BY THE CONSULTANT UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
6.2. HORIZONTAL JOINTS ARE ONLY PERMITTED IN COLUMNS, SLABS, BEAMS, AND WALLS WHERE SHOWN.
6.3. PROVIDE CONTROL JOINTS IN SLABS-ON-GRADE AND UNBONDED TOPPING SLABS SPACED AT 3750 (12'-0") ON CENTER MAXIMUM AND AS SHOWN ON THE DRAWINGS AND TYPICAL DETAILS.
7. OPENINGS, SLEEVES AND EMBEDDED CONDUIT:
7.1. FORM SLEEVE OPENINGS IN WALLS AND SLABS REQUIRED BY OTHER TRADES PRIOR TO POURING CONCRETE. DO NOT CUT OPENINGS IN STRUCTURAL MEMBERS WITHOUT ENGINEER'S APPROVAL.
8. COVER:
8.1. PROVIDE MINIMUM CONCRETE COVER TO REINFORCING AS PER THE MINIMUM REQUIREMENTS OF CSA A23.1 AND CSA S413.
8.2. PROVIDE CONCRETE COVER TO REINFORCING STEEL CORRESPONDING TO THE GREATEST APPLICABLE VALUE AS LISTED BELOW.
A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 75mm (3")
B. CONCRETE CAST IN FORMS (NOT EXPOSED TO CHLORIDES, CHEMICALS OR WEATHER)
a. SLAB TOP BARS 25mm (1")
b. SLAB BOTTOM BARS 25mm (1")
c. WALLS (EXPOSED TO FIRE BOTH SIDES) 50mm (2")
d. WALLS 25mm (1")
e. MISCELLANEOUS INTERIOR CONCRETE NOT LISTED ABOVE 40mm (1-1/2")
9. REPAIR ANY DEFECTS IN HARDENED CONCRETE USING APPROVED METHODS, AND OBTAIN CONSULTANT'S APPROVAL OF FINISHED REPAIR PRIOR TO BACKFILLING OR COVERING.

Table with 5 main columns: CONCRETE STRENGTH, MINIMUM TENSION EMBEDMENT (25MPa, 30MPa, 35MPa), MINIMUM COMPRESSIVE EMBEDMENT, MINIMUM TENSION LAP SPLICE (25MPa, 30MPa, 35MPa), MINIMUM COMPRESSIVE LAP SPLICE. Rows include TOP BARS (10M to 35M) and BOTTOM BARS (10M to 35M).

Table with 7 columns: ELEMENT, LOCATION, COMPRESSIVE STRENGTH (MPa), EXPOSURE CLASS, CHLORIDE EXPOSURE, FREEZE/THAW EXPOSURE, REMARKS. Rows include FOOTINGS, RETAINING WALL, SLAB-ON-GRADE, MISCELLANEOUS CONCRETE.

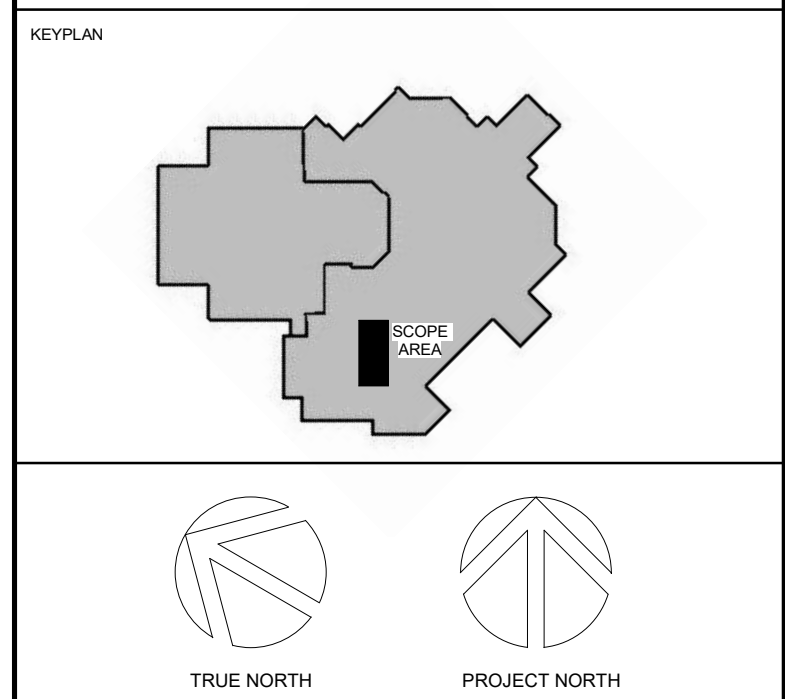


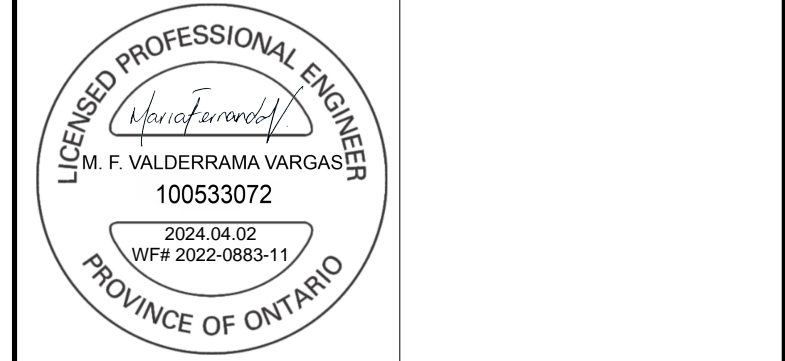
Table with 3 columns: No., ISSUANCE, DATE. Rows 1: ISSUED FOR 90% OWNER REVIEW (2024.03.26), 2: ISSUED FOR BID AND PERMIT (2024.04.03)

CLIENT: WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDEL AVE, KITCHENER, ON N2C 2R5

PROJECT: CEDARBRAE P.S. INTERIOR BARRIER-FREE RAMP
230 CEDARBRAE AVE, WATERLOO ON N2L 4S7

TITLE: GENERAL NOTES AND TABLES

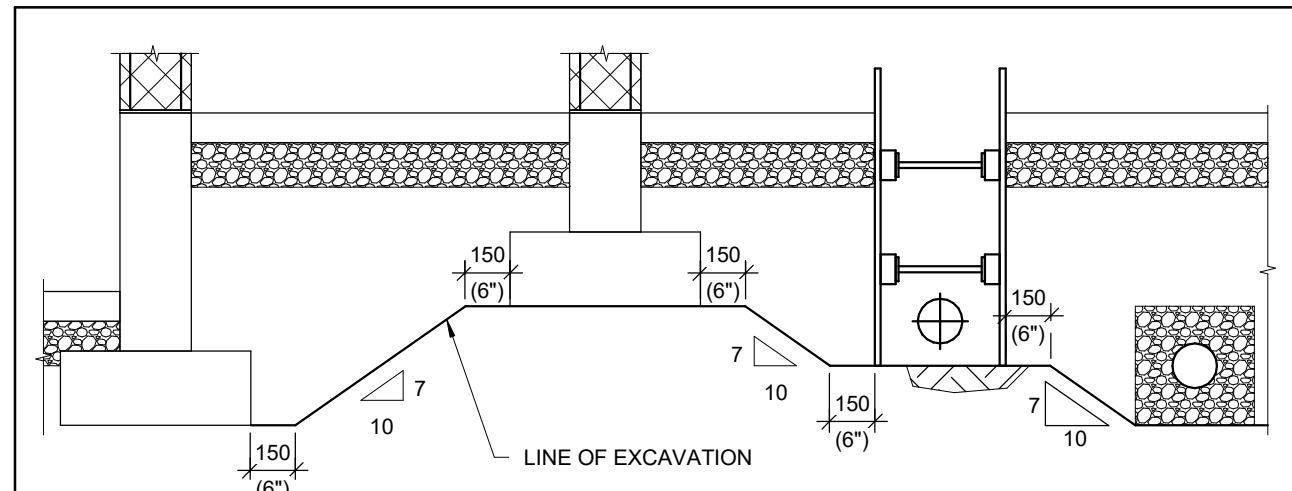
WALTERFEDY
KITCHENER | HAMILTON | TORONTO
800.685.1378 walterfedycan.com



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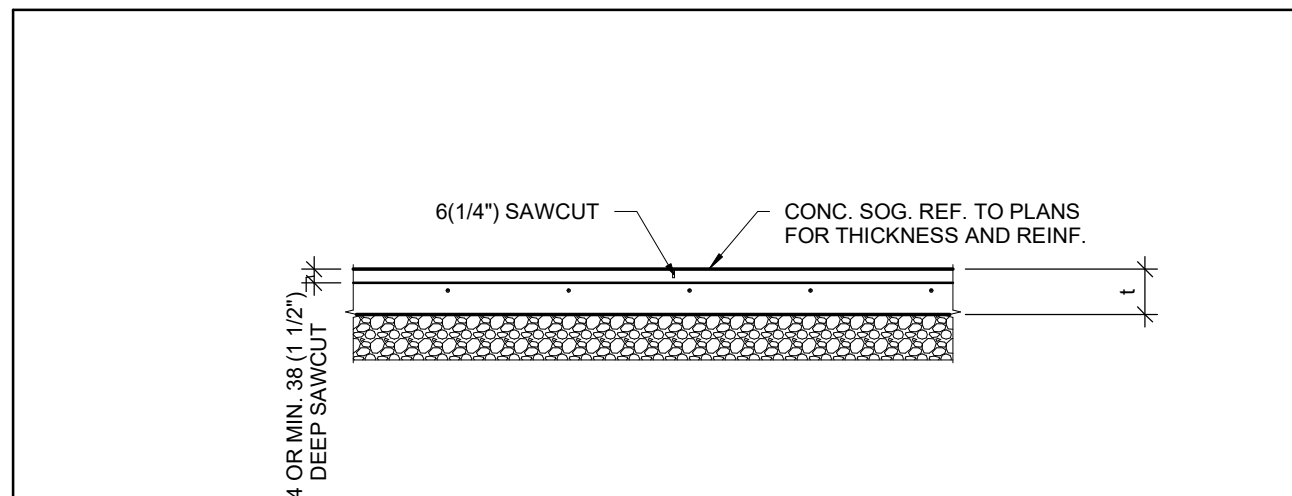
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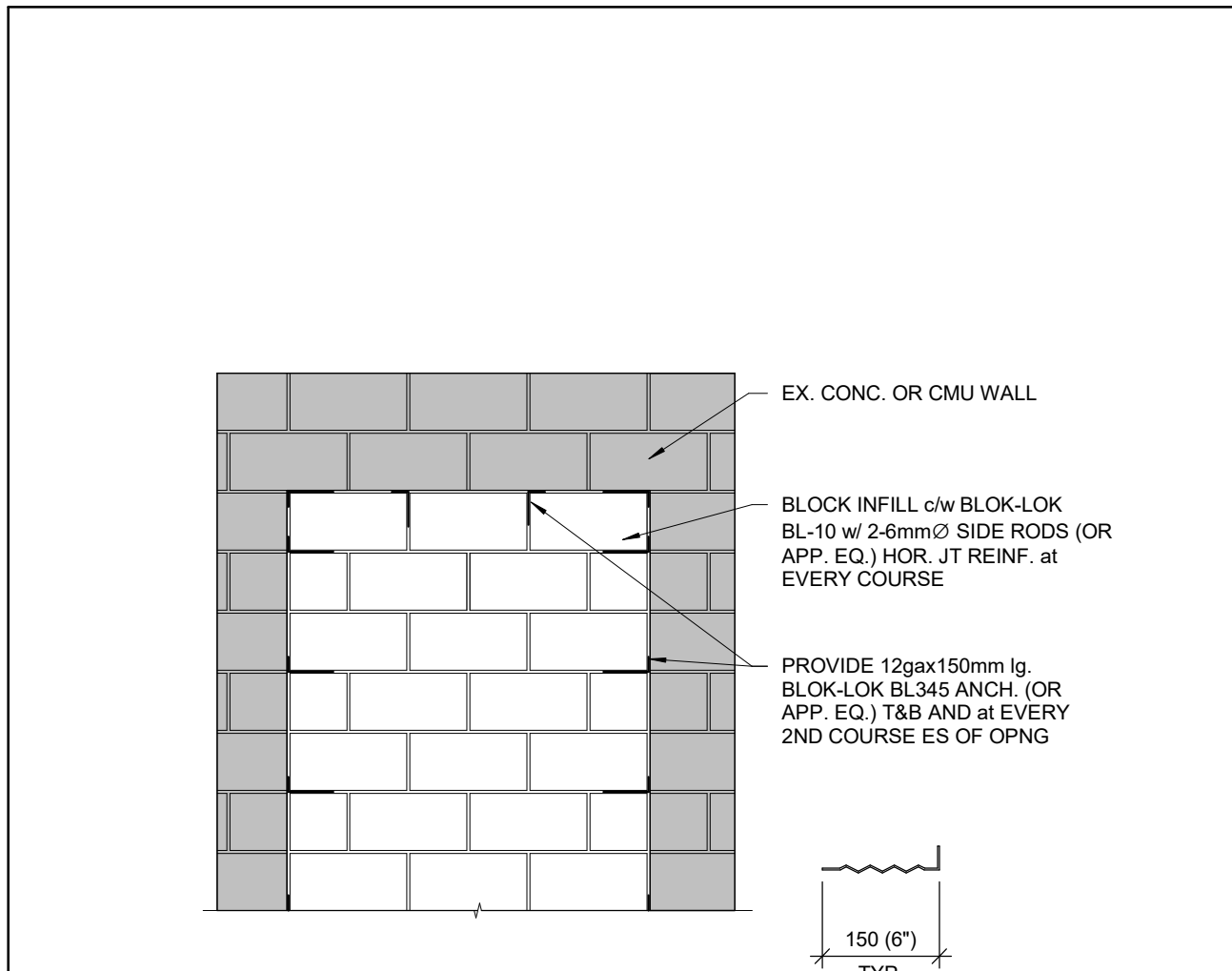
- NOTES:
1. MAINTAIN MINIMUM SLOPE TO ADJACENT FOOTINGS AND EXCAVATIONS UNLESS NOTED OTHERWISE IN THE GEOTECHNICAL REPORT.
  2. LOWER FOOTINGS AS NECESSARY TO ACHIEVE SLOPE NOTED.
  3. ENSURE SPECIFIED SLOPE IS NOT COMPROMISED BY DISTURBED SOIL BETWEEN THE EXCAVATIONS.

**ADJACENT FOOTINGS AND EXCAVATIONS** **C101**



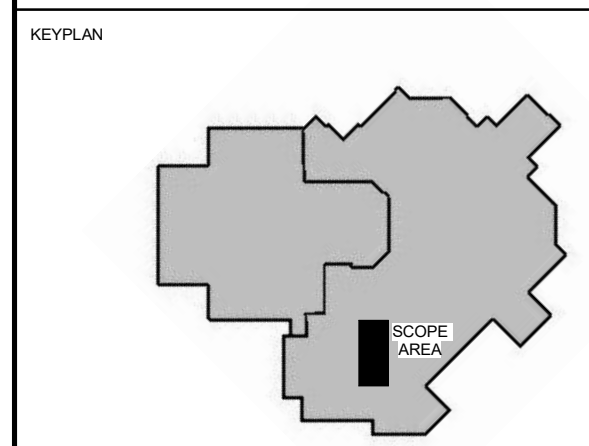
- NOTE:
1. SAWCUT SLAB ON-GRADE 6 TO 18 HOURS AFTER PLACING CONCRETE.
  2. CONTRACTOR TO ENSURE REINFORCING IS NOT CUT.
  3. DO NOT CUT REINFORCING DURING SAW CUTTING OPERATION.

**SAWCUT CONTROL JOINTS** **C202**



- NOTE:
1. REFER TO ARCH. FOR LOCATION OF BLOCK WALL OPENINGS TO BE INFILLED.

**INFILL EXISTING OPENINGS IN MASONRY WALLS** **M113**



No.	ISSUANCE	DATE
1	ISSUED FOR 90% OWNER REVIEW	2024.03.26
2	ISSUED FOR BID AND PERMIT	2024.04.03

CLIENT  
**WATERLOO REGION DISTRICT SCHOOL BOARD**  
 51 ARDELT AVE, KITCHENER, ON N2C 2R5

PROJECT  
**CEDARBRAE P.S. INTERIOR BARRIER-FREE RAMP**  
 230 CEDARBRAE AVE, WATERLOO ON N2L 4S7

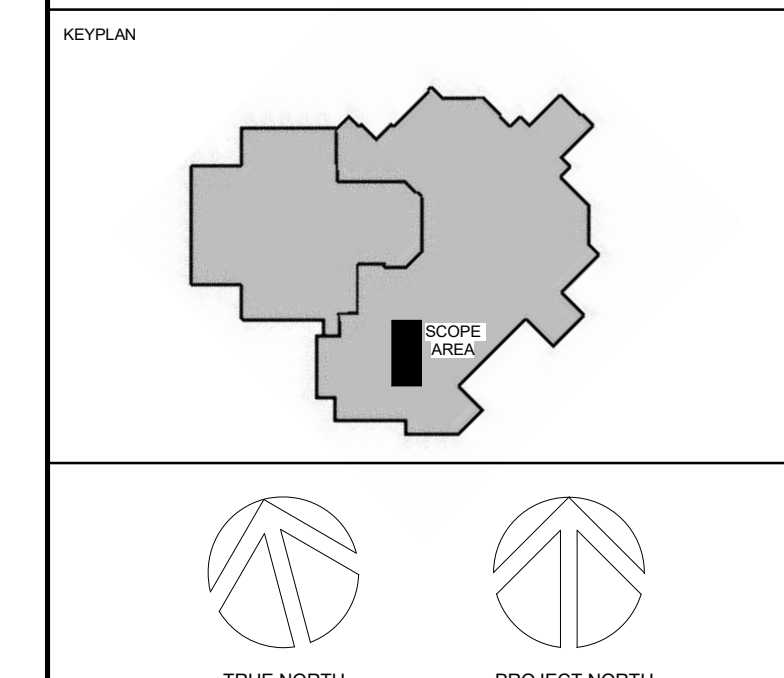
TITLE  
**TYPICAL DETAILS**

**WALTERFEDY**  
 KITCHENER | HAMILTON | TORONTO  
 800.685.1378 walterfedy.com



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SCALE:	SHEET NO:
DATE: 03/14/2024	<b>S002</b>
PROJECT NO: 2022-0883-10	
DRAWN BY: TAJAK	
CHECKED BY: MV	



No.	ISSUANCE	DATE
1	ISSUED FOR 90% OWNER REVIEW	2024.03.26
2	ISSUED FOR BID AND PERMIT	2024.04.03

CLIENT  
**WATERLOO REGION DISTRICT SCHOOL BOARD**  
 51 ARDELT AVE, KITCHENER, ON N2C 2R5

PROJECT  
**CEDARBRAE P.S. INTERIOR BARRIER-FREE RAMP**  
 230 CEDARBRAE AVE, WATERLOO ON N2L 4S7

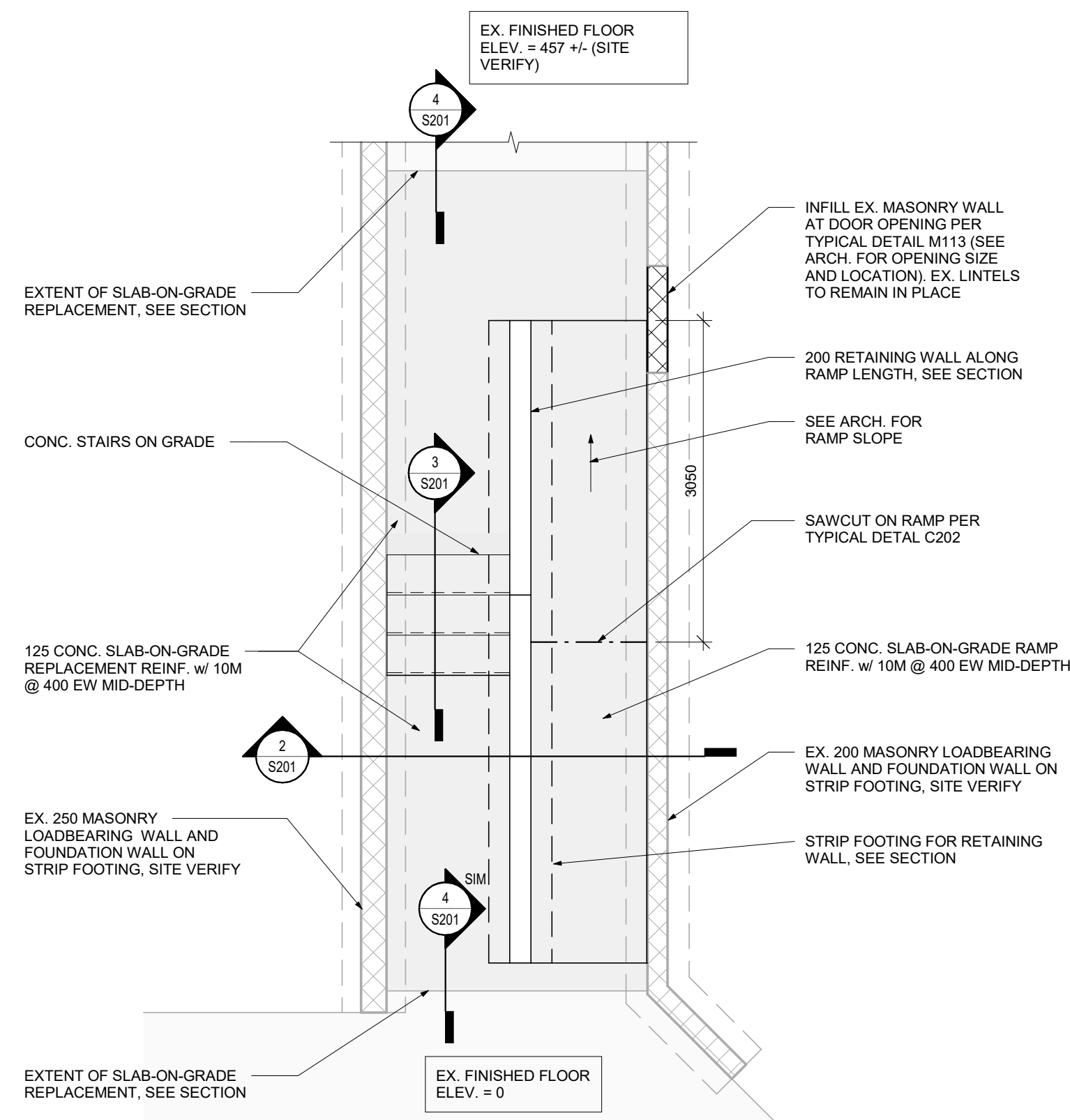
TITLE  
**PARTIAL GROUND FLOOR PLAN AND SECTIONS**

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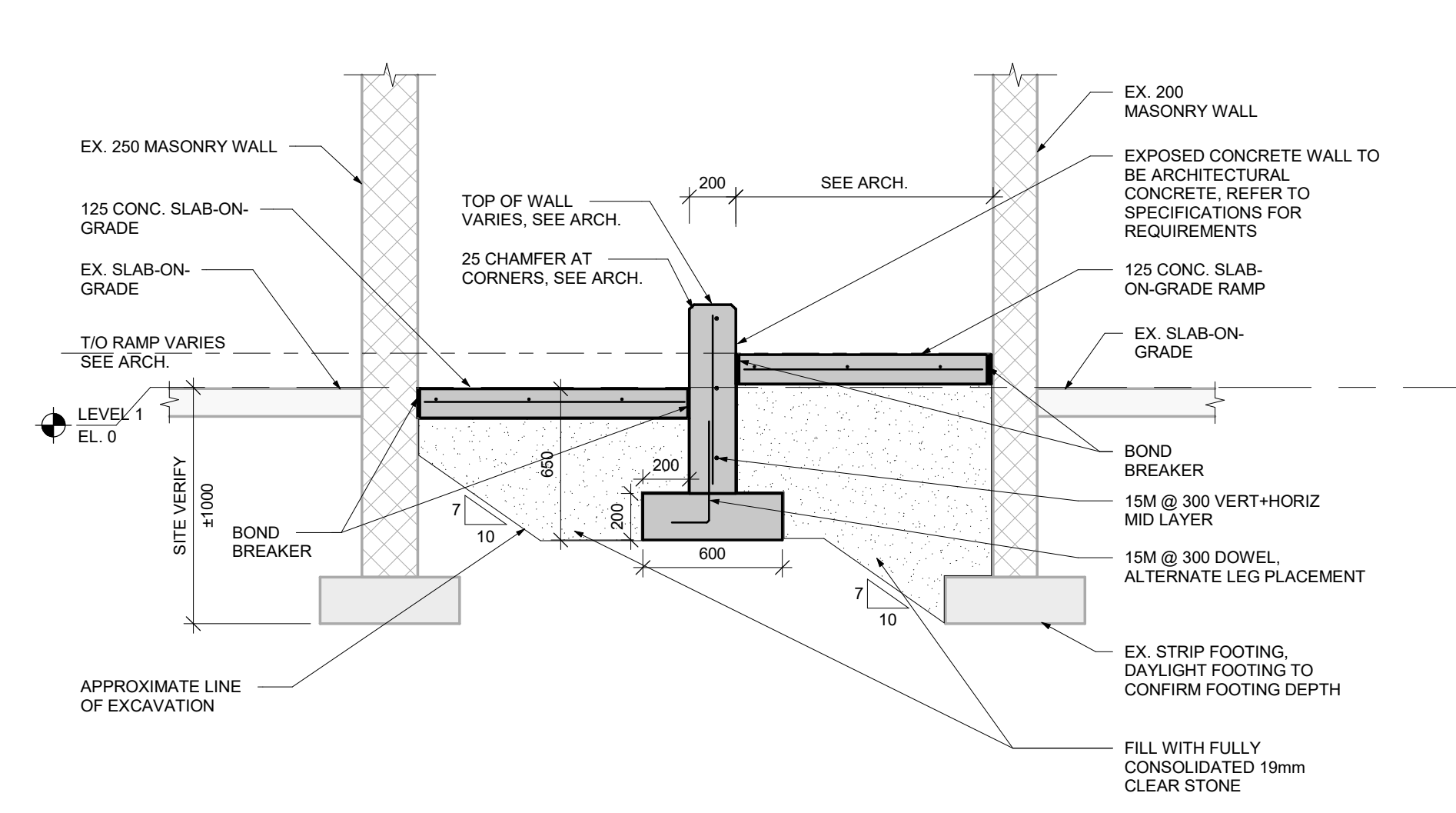
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SCALE:	SHEET NO:
DATE: 03/14/2024	<b>S201</b>
PROJECT NO: 2022-0883-10	
DRAWN BY: TAJAK	
CHECKED BY: MV	

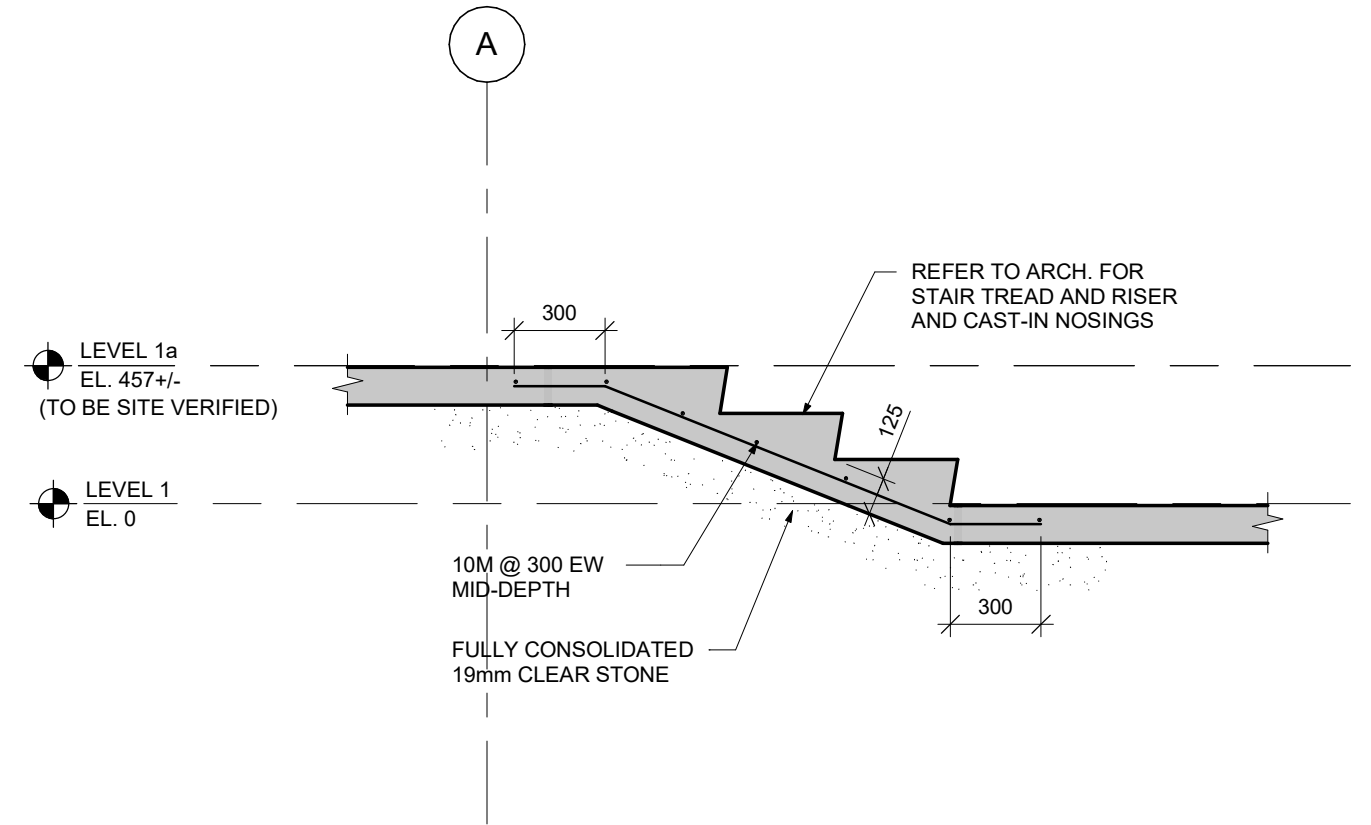


**1 PARTIAL GROUND FLOOR PLAN**  
 1 : 50

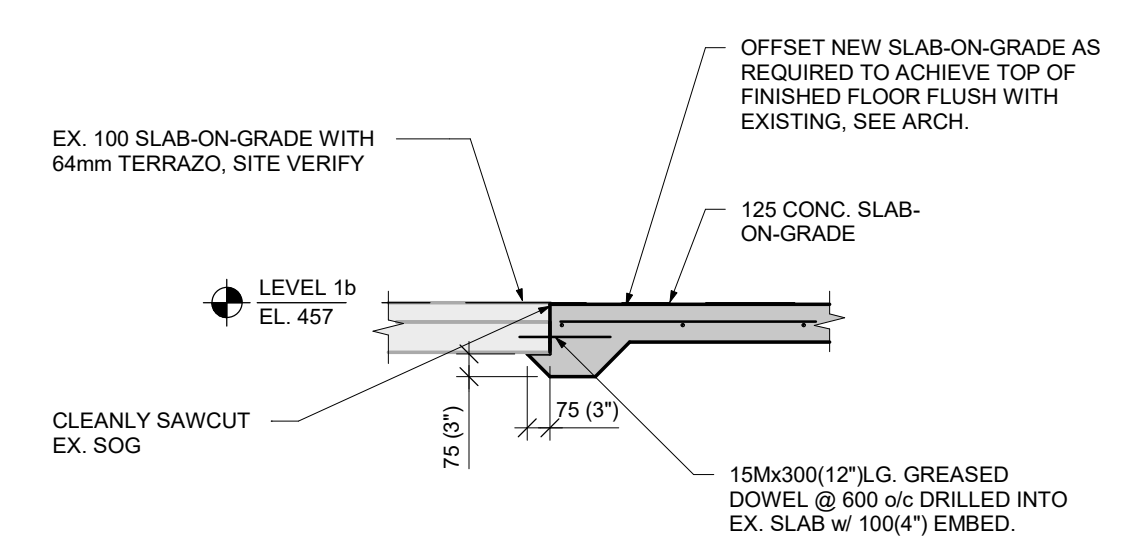
- PLAN NOTES:
- TOP OF EXISTING SLAB ON GRADE OFFSET FROM FINISHED FLOOR ELEVATION TO BE SITE VERIFIED.
  - REFER TO ARCHITECTURAL DRAWINGS FOR RAMP AND STAIR DIMENSIONS AND EXTENTS OF SLAB-ON-GRADE DEMOLITION.
  - DO NOT UNDERMINE EXISTING FOUNDATIONS AND SLAB.
- DEMOLITION NOTES:
- SAWCUT EX. SLAB-ON-GRADE TO THE EXTENTS SHOWN ON THE ARCHITECTURAL DEMOLITION PLAN FOR THE FULL WIDTH OF THE CORRIDOR BETWEEN EX. MASONRY WALLS. WHERE SLAB IS DOWELED INTO THE MASONRY WALLS, TAKE CARE TO CUT THE DOWELS WITHOUT DAMAGING THE WALL AND MAKE GOOD ALL WALL SURFACES.



**2 SECTION**  
 S201 1 : 25



**3 SECTION**  
 S201 1 : 25



**4 SECTION**  
 S201 1 : 25