


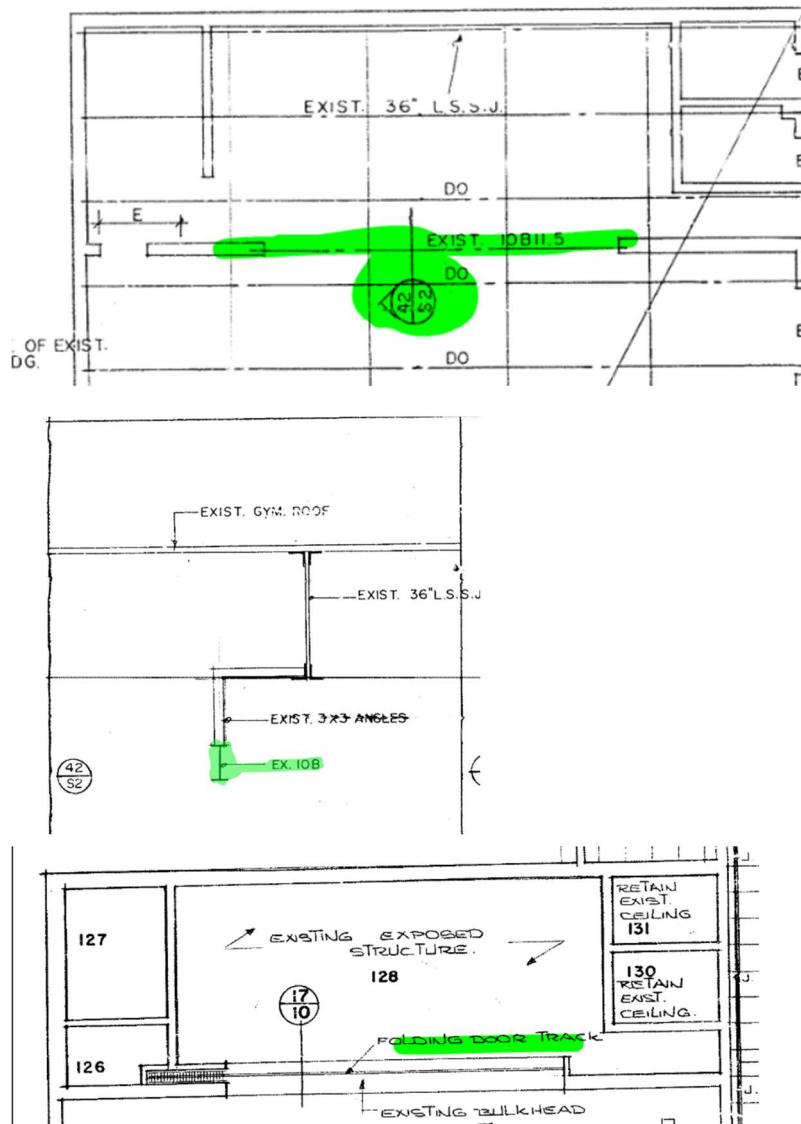
REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

The following questions and answers are hereby issued in response to the questions of prospective respondents. **Please note that certain information is removed from the respondents' questions in order to protect the respondent's identity.**

Date	Wednesday, November 20th, 2024
Question #1	<p>If you are inside the stage and facing the roll-up door, there is a partition (perpendicular with the roll-up door) that is not captured in the demolition plans. Please refer to the attached photo#1. Could you kindly advise if this partition is to be removed? Could you advise/confirm if this is load bearing and/or require any special structural requirements (due to the existence of the W10 beam above the folding door track)?</p> 
Answer #1	All existing stage roll-down door, associated hardware, associated frames, and associated tracks to be removed complete. The partition perpendicular to the roll up door is not load bearing and can be removed with the roll up door complete.
Question #2	Can you kindly confirm/advise if the existing folding door track is to be removed?
Answer #2	Refer to Answer #1
Question #3	Does note #20 which is listed under " <i>specific demolition notes</i> " mean that the existing W10 beam is to be removed? As per our review during site visit, this beam is not in the way of the new CMU block infill as it is located off the existing CMU block wall. Please advise and confirm.
Answer #3	Demo Note 20 refers to the potential existence of a W10 beam attached to the existing joists - directly above the existing roll up door to support the folding partition. If there is a

REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3


W10 beam directly above the exiting roll up door, its removal would then need to be coordinated with the Architect and Structural Engineer to accommodate new masonry block wall fill below. See snippets of existing drawings below for reference.



**Question
#4**

Regarding note# 21 which is listed under "specific demolition notes", can you kindly advise if there is existing gypsum board behind the furred finish which needs to be removed? I am

REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

	asking because it will affect the price significantly if we consider just removal of the furred wall, patch and paint the existing wall behind rather than installation of new drywall behind the removed furred wall.
Answer #4	Please disregard note #21.
Question #5	Can you kindly advise on what is the wall type of the mechanical chase in new storage R06?
Answer #5	Mechanical chase in new storage room R06 to be a new wall type W-7 5/8" GYPSUM WALL BOARD 6" METAL STUDS 16" O.C.
Question #6	Instructions will be issued regarding the pipes that are holding the basketball net in the gym side. Can you please confirm?
Answer #6	<p>Existing basketball net structure to be reworked to allow for ease of installation of new block wall. Review with Owner and Architect if any modifications to the existing support system are required.</p> 
Question #7	Does the cash allowance amount that designated for doors finish hardware includes supply and installation?
Answer #7	The door hardware allowance to include supply and install of door hardware only.

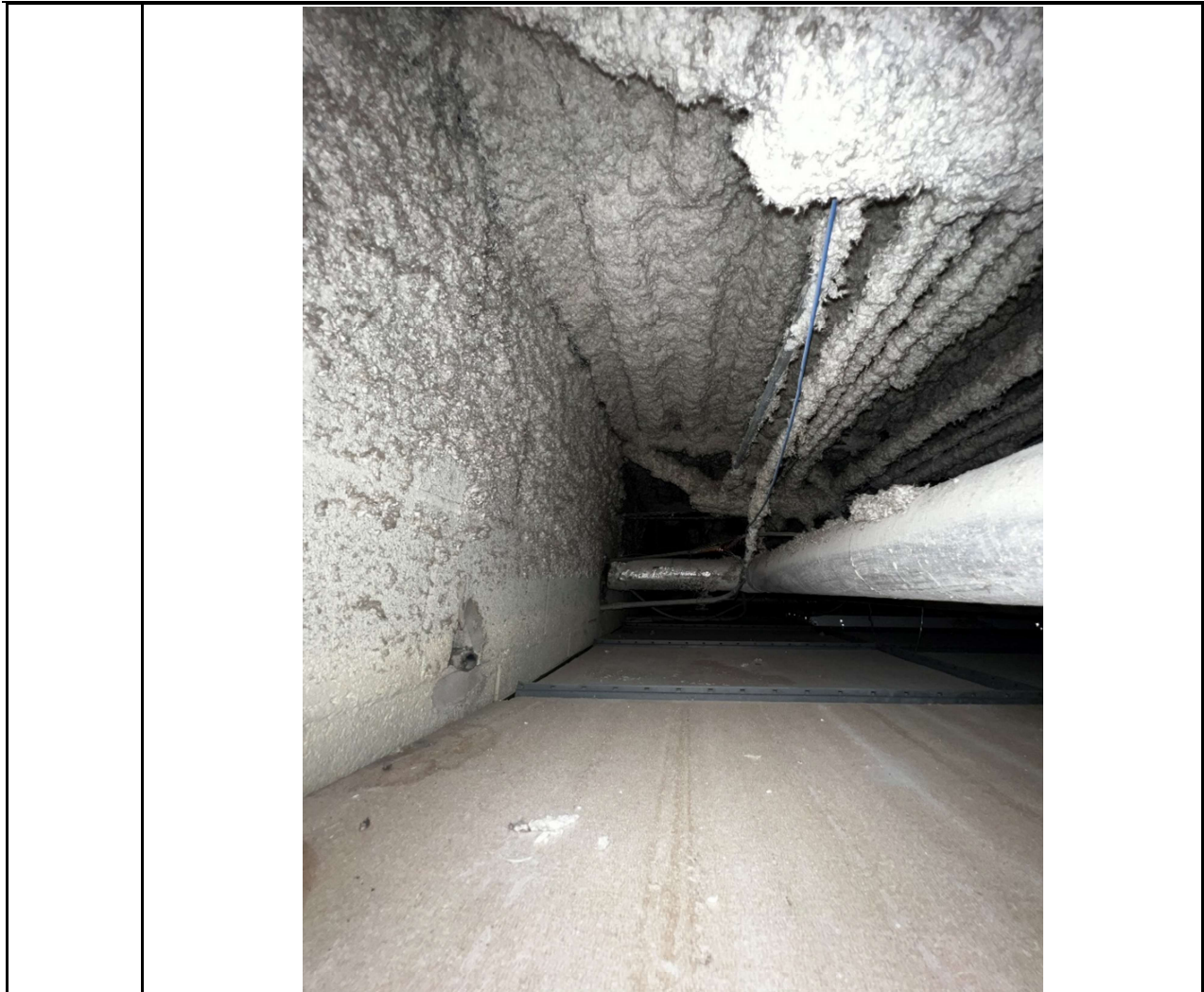
REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

Question #8	Are PDA (power door operator) and its accessories (which is specified for door# D5) supply and installation covered by the doors hardware cash allowance?
Answer #8	No, the door hardware allowance does not include the PDO and any associated accessories on Door D5. Refer to Section 08 71 00 on Sheet A005 for specification.
Question #9	May you kindly confirm that existing underside of the roof deck, existing steel beams, existing (and new) ductwork are not to be painted?
Answer #9	The existing underside of the roof deck, existing steel beams, existing (and new) ductwork are <i>not</i> to be painted.
Question #10	Can you advise what is the area located above the existing corridor R129? Is this location accessible to build-up the new specified W-5? What is the wall W-5 finish at this area? Can you kindly provide photos of this area to review and see if any existing finish will be affected by the removal of the existing CMU block wall? Is it possible to provide a section at this area and specify the requested information on it?
Answer #10	Please see photos below. Refer to answer #29 for further details on this area.

REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3




REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3



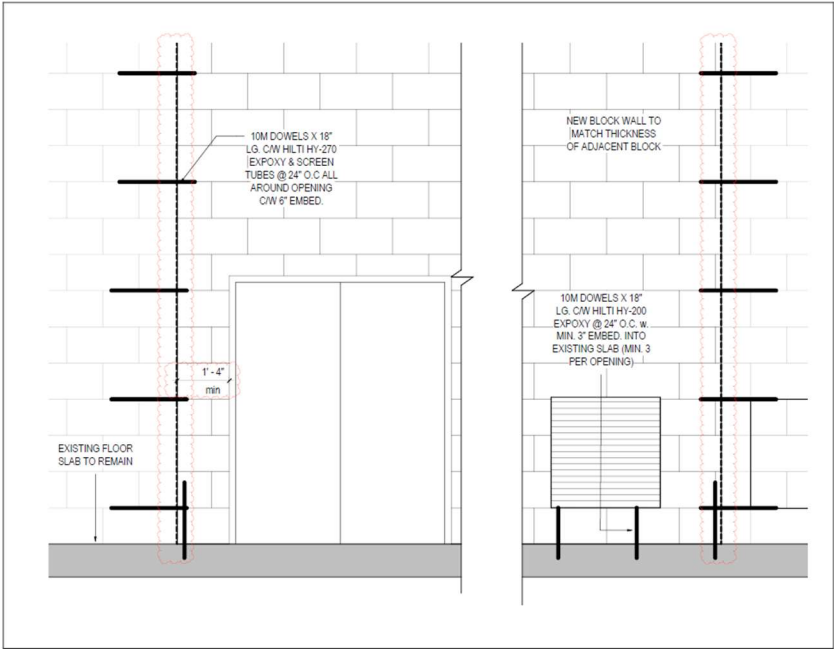
REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3



REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

	
Question #11	May you kindly advise what is the required height of the hoarding in the gym area?
Answer #11	Plywood panels as per specifications on A004 up to 4' – 0" Plastic from top of plywood to underside of exiting deck to ensure dust seal.
Question #12	Are the appliances, wall-mount TV, and furniture included in contract?
Answer #12	No
Question #13	May you kindly advise if BAS is required for this project? May you please provide contact information of the base building contractor for BAS work?

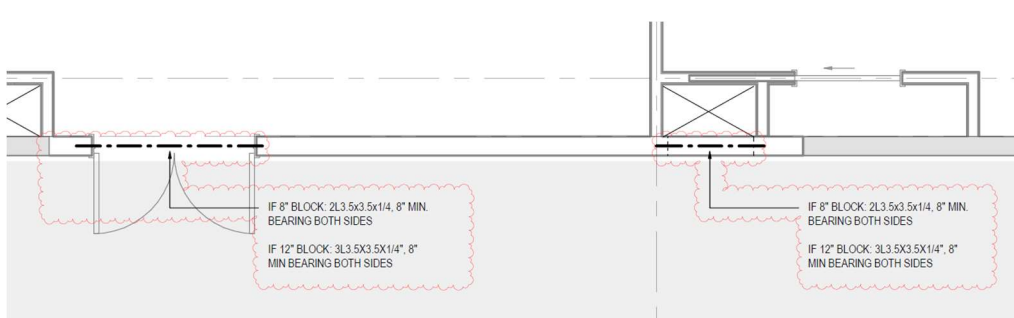
REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

Answer #13	Not for the renovated area
Question #14	May the city kindly consider an extension to the closing deadline?
Answer #14	No
Question #15	Are the existing blocks imperial or metric? Imperial blocks are not available, and this would make it difficult to tooth block in to existing.
Answer #15	<p>Please see below for updated infill detail. Replace toothed in detail with straight cut with ties as per notes below.</p>  <p>5 TYPICAL BLOCK WALL INFILL SCALE: 1/2" = 1'-0"</p>
Question #16	Are the ends of the existing walls that are to be toothed filled solid?
Answer #16	Unknown. Please refer to Answer #15
Question #17	Would it be possible to not tooth the existing and new block wall together and instead tie the new wall into the existing wall with a strap tie?

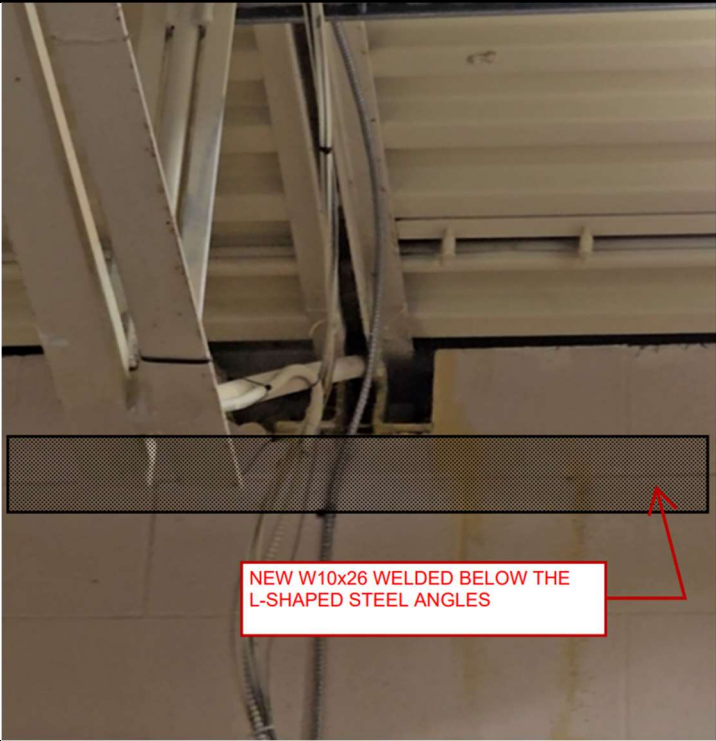
REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

Answer #17	Please refer to Answer #15
Question #18	May you please provide clarity on the specifications for the PLAM material for the cabinets and the countertop material.
Answer #18	Please refer to Answers #21-23 in Addendum No.2
Question #19	Could you please clarify whether the cash allowance will cover all the abatement costs of the Q24-98 - W.G. Johnson Storage—Lunch Room Renovation.
Answer #19	The allowance is an estimate of what would be required. If the value surpasses this, this will be dealt with a change order or the general cash allowance at the discretion of the Client. Refer to general notes in Section 01 21 00 on sheet A003.
Question #20	Can you please advise if the fire alarm panel is addressable or conventional?
Answer #20	The panel is conventional.
Question #21	Can you confirm that LP-B2 is the new replacement for LP-B with the LP-B being used as a JB, all circuits being routed to new panel LP-B2?
Answer #21	Yes, Panel LP-B2 is the replacement panel, with LP-B used as a junction box. All circuit reworked to new panel LP-B2.
Question #22	Is there any bonding requirement for this project during the tender process
Answer #22	<p>The successful respondent will be required to provide the following:</p> <p>A Performance Bond completed by a surety company, submitted in an electronically verifiable/enforceable (e-bond) format acceptable to the City, lawfully conducting business in the Province of Ontario for 100% of the amount of the total price, including H.S.T; and</p> <p>A Labour and Material Payment Bond completed by a surety company, submitted in an electronically verifiable/enforceable (e-bond) format acceptable to the City, lawfully conducting business in the Province of Ontario for 50% of the amount of total price, including H.S.T</p>
Question #23	Can you specify the size of the masonry units?
Answer #23	Please refer to Answer #15
Question #24	Does the new opening for relocation of grille require a lintel?

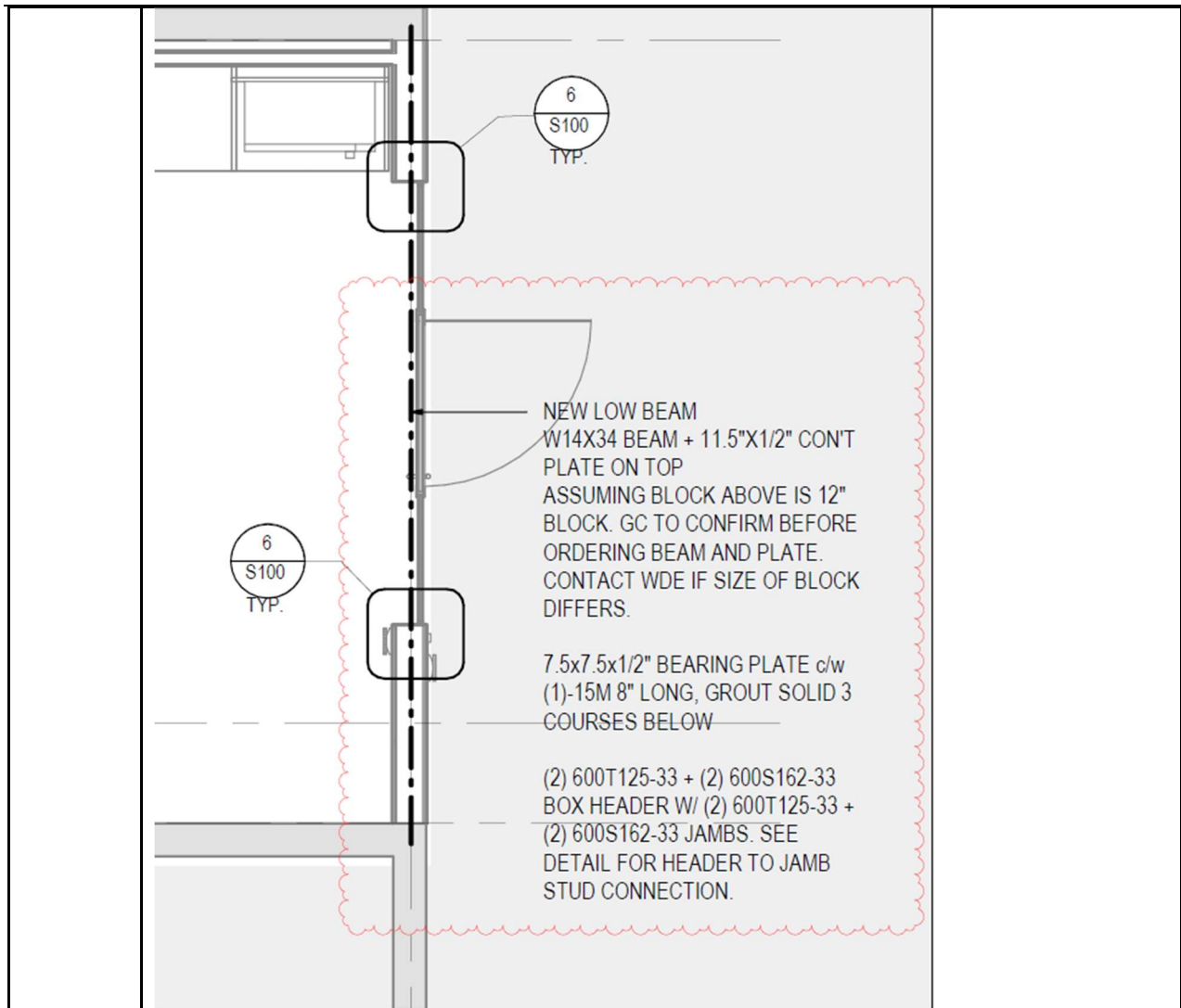
REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

Answer #24	<p>Yes, this new opening will require a lintel. Please see below for lintel size of door and new opening for relocation of grille:</p> 
Question #25	Note 6 in A200 reads "Provide interior glazing wall system in aluminum frame with integrated glass swing door". Door schedule suggest that is an existing door to be relocated. Please advise
Answer #25	Door Schedule specifies that D5 is to be a new door. D5 is to be a new glass swing door to be part of new interior glazing system.
Question #26	There is a discrepancy between the ceiling tile and suspension system specify in specifications and the one specify in Ceiling Type Legend in A200. Please advise.
Answer #26	Please refer to Section 09 51 13 in the specifications on A005. Remove ceiling tile specification in Ceiling Type Legend on Sheet A200.
Question #27	Washroom accessories are included in specifications, but there is no scope of work for washrooms in this project. Please clarify
Answer #27	Remove Specification Section 01 79 00 from A005.
Question #28	Could you please assist us with the elevation of the Building?
Answer #28	Refer to Section AA for overall building elevations.
Question #29	Referring to the below photo, would you kindly confirm the location of the new added steel beam W10x26 (to replace the removed load bearing block wall).

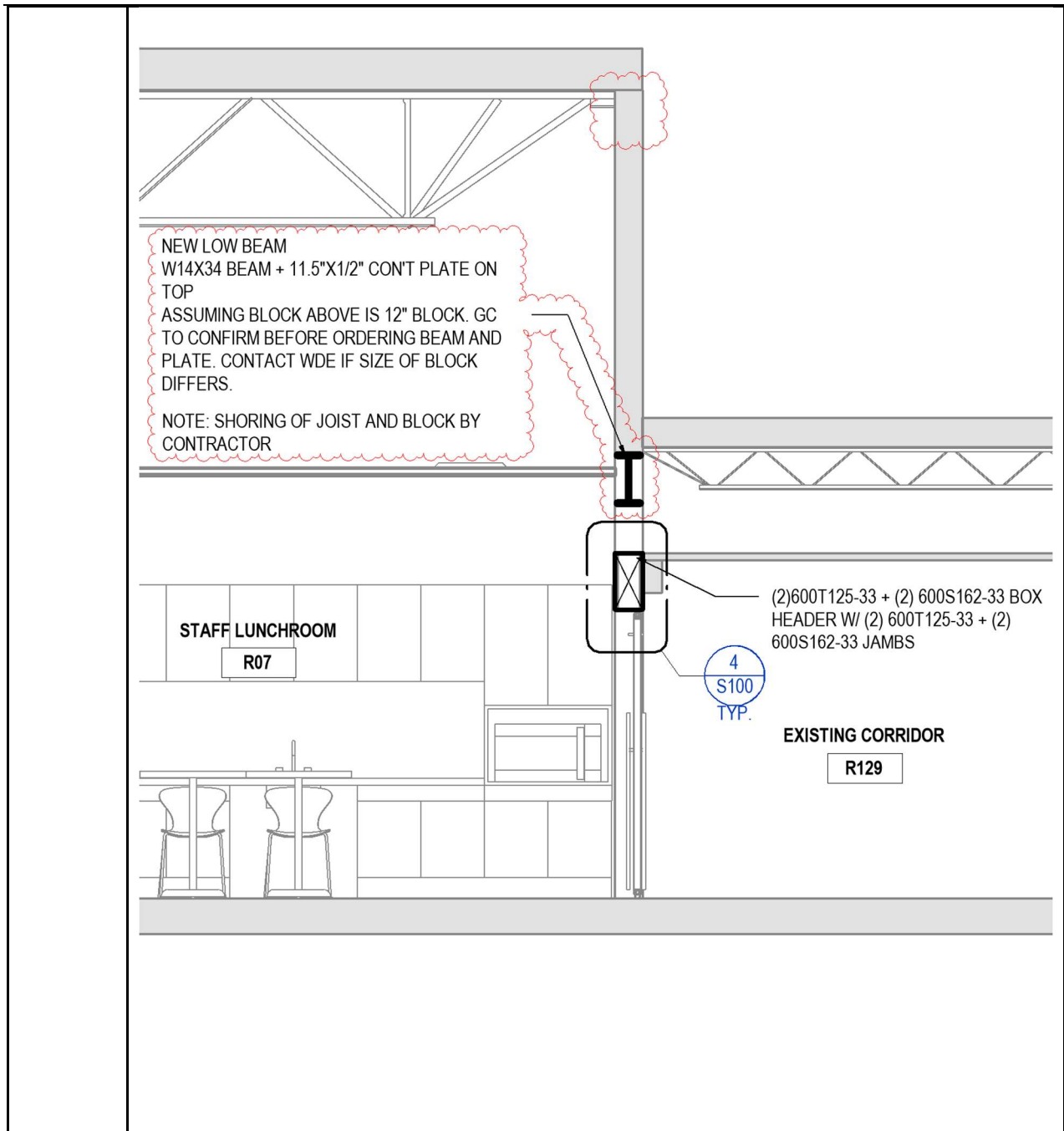
REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

	 <p align="center">NEW W10x26 WELDED BELOW THE L-SHAPED STEEL ANGLES</p>
Answer #29	<p>There is a discrepancy between the site conditions and the drawings. Based on the existing site conditions, the size and location of this beam has been updated. Please see below for revised Structural Plan and Structural sections on Sheet S100 showing the new location and size of the new beam.</p>

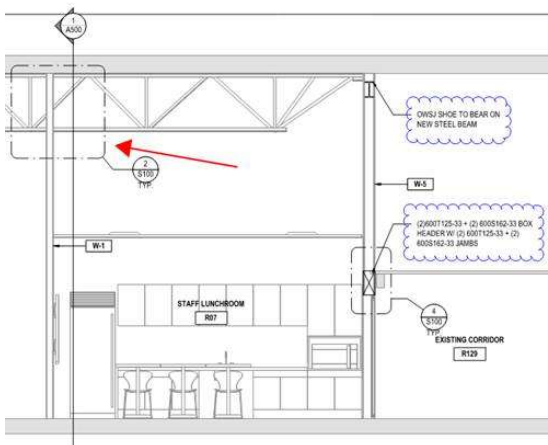
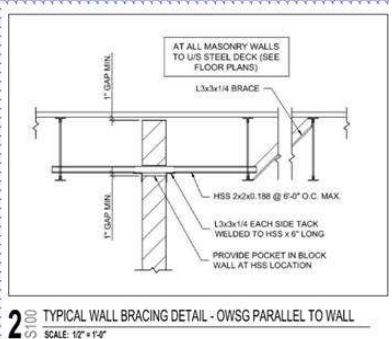
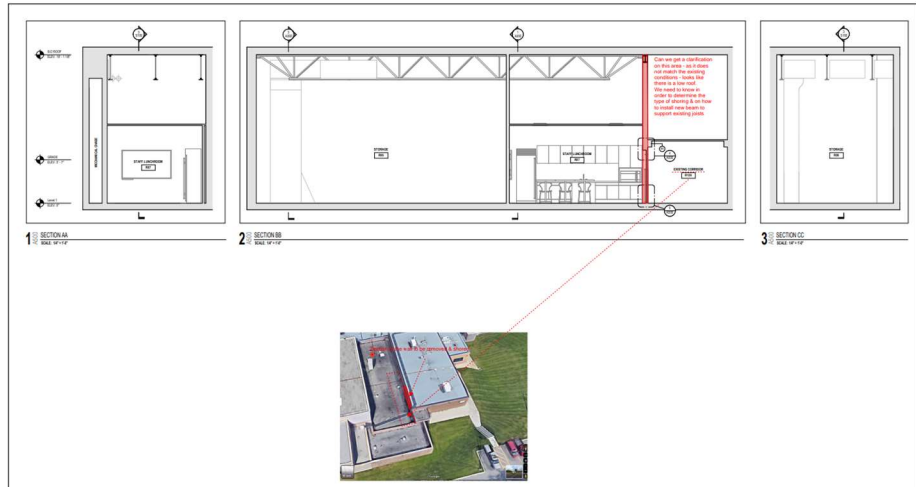
REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3



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RFQ#: Q24-98
ADDENDUM #3



REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

<p>Question #30</p>	<p>We kindly need more clarifications regarding detail 2/S100. This detail is enlarged from the connection of W1 with the existing truss system. However, W1 (where this detail was captured from) is new gypsum board wall and not a masonry wall. Can you kindly provide more clarifications on this detail and is it for information only? Or it should be applied?</p>   <p>2 TYPICAL WALL BRACING DETAIL - OWSG PARALLEL TO WALL SCALE: 1/2" = 1'-0"</p> <p>WITZEL DYCE ENGINEERING INC. WDE PROJECT NO. 16873-100</p> <p>DESIGN LOADS: DL: 15 psf SL: 40.3 psf</p> <p>GENERAL NOTES: 1. FOR STRUCTURAL DESIGN OF CLOUDED ITEM 2. CONTRACTOR TO VERIFY ALL DIMENSIONS 3. CONTRACTOR TO CONFIRM ALL SIZES & TOLERANCES</p>
<p>Answer #30</p>	<p>Please see Answer #29</p>
<p>Question #31</p>	<p>Please see below screenshot - existing conditions do not match the drawings. Can we get more information on the existing structure above the corridor ceiling where masonry wall needs to be removed and the new beam installed.</p>  <p>1 SECTION AA SCALE: 1/4" = 1'-0"</p> <p>2 SECTION BB SCALE: 1/4" = 1'-0"</p> <p>3 SECTION CC SCALE: 1/4" = 1'-0"</p> <p>Can we get a clarification on the masonry wall above the corridor? It is not shown in the drawings. There is a low wall. We need to know the type of masonry and the height of the wall to support existing loads.</p> <p>W.G. JOHNSON CENTRE LUNCHROOM CITY OF CAMBRIDGE</p> <p>fabrik</p>

REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

Answer #31	Please see Answer #29
Question #32	Do you have any sprinkler work in this job. We don't see any drawing. Please advise
Answer #32	There are no sprinklers in this part of the building. There is no sprinkler work.
Question #33	Can you please confirm if we need to supply the washroom accessories. It is not clear, where do we install those accessories
Answer #33	Refer to Answer #27
Question #34	The existing power panel B is to be used as a junction box, we are wondering if an extension ring can be used with the old panel cover or a Blank cover, enabling a terminal strip and power blocks to be mounted inside and used to extend any wiring as required. It can be painted to match existing wall Conduit or nipples exiting the side of the extension ring can be used to feed new Panel B2
Answer #34	Yes, we are expecting something as described to extend the existing circuits to the new panel.

REQUEST FOR QUOTATIONS
W.G. Johnson Storage - Lunch Room Renovation
RFQ#: Q24-98
ADDENDUM #3

Additional Comments:

- I. Existing floor under stage assumed to be concrete. Remove existing plywood layer that currently sits on top of floor under stage. Contact Architect regarding existing floor material under plywood.



End of ADDENDUM #3
For
REQUEST FOR QUOTATIONS
W.G. Johnson Storage – Lunch Room Renovation
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