



ARCHITECTURAL:  
WARD99 ARCHITECTS INC.

- A0.0 PROJECT TITLE, DRAWING LIST, PROJECT KEY PLAN AND PROJECT INFORMATION**
- A1.1 EXISTING SITE MOBILIZATION AND CONSTRUCTION PLAN AND NOTES**
- A2.1 EXISTING GROUND FLOOR KEY PLAN AND DETAIL**
- A2.2 DEMOLITION PLAN AND REFLECTED CEILING DEMOLITION PLAN AND LEGEND AND NOTES**
- A2.3 ENLARGED CLASSROOMS PROPOSED FLOOR PLAN AND REFLECTED CEILING PLAN AND LEGEND AND NOTES**
- A3.1 SECTION DETAILS - DEMOLITION AND PROPOSED, AND ROOM FINISH SCHEDULE**

## MECHANICAL: DEI & ASSOCIATES




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|------|--------------------------------------|
| M1.1 | KEYPLAN & LEGEND                     |
| M2.1 | GROUND FLOOR PART PLANS - DEMOLITION |
| M3.1 | GROUND FLOOR PART PLANS - RENOVATION |
| M4.1 | MECHANICAL SPECIFICATION             |

## ELECTRICAL: DEI & ASSOCIATES

- E1.1 OVERALL PLAN & LEGEND  
E2.1 ENLARGED DEMOLITION PLAN  
E3.1 ENLARGED RENOVATION PLAN  
E4.1 ELECTRICAL SPECIFICATIONS

## PROJECT INFORMATION

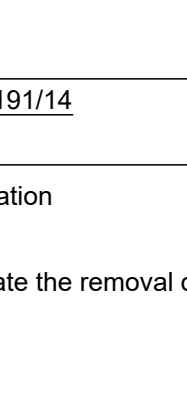
### DRAWING TAGS LEGEND NOTES

ROOM NAME 1	ROOM TITLE: REFERS TO ROOM NAME
B101	REFERS TO ROOM NUMBER
AREA m2	REFERS TO AREA IN m2
OL-00P	REFERS TO OCCUPANT LOAD
	DETAIL TAG: DETAIL NUMBER / DRAWING NUMBER.
	BUILDING / WALL SECTION TAG: SECTION DETAIL NUMBER / DRAWING NUMBER
	CEILING CONSTRUCTION TAG. REFER TO CONSTRUCTION LEGEND ON DRAWING A2.3

**Name of Practice:**  
ward99 architects inc.  
7611 Pine Valley Drive, Unit 11, Vaughan, ON, L4L 0A2  
Telephone: 416-613-5880

**Name of Project:**  
GRAND RIVER COLLEGIATE INSTITUTE  
#Z4-7692-RFT - ASBESTOS REMOVAL FOR FAMILY STUDIES RENOVATION  
Waterloo Region District School Board

**Location:**  
175 Indian Road, Kitchener ON, N2B 2S7



Ontario 2012 Building Code Data Matrix Part 11 - Renovation of Existing Building				Building Code Reference
11.0	Building Code Version:	O. Reg. 332/12	Last Amendment: O. Reg. 191/14	
11.01	Project Type:	<input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use Description: Renovation to ground floor classrooms to accommodate the removal of asbestos-containing materials. Area of renovation is 275.28 m <sup>2</sup> .		[A]1.1.2.
11.02	Major Occupancy Classification:	Group A, Division 2    Use: Secondary School    *Closest Classification: O.B.C. 3.2.2.25. Group A, Division 2, up to 2 storeys		3.1.2.1.(1)
11.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description:		3.2.2.7
11.04	Building Area (m2)	Description: Existing    New    Total Building Area (m <sup>2</sup> ): 12,913.44 m <sup>2</sup> n/a    12,913.44 m <sup>2</sup>		[A]1.4.1.2.
11.05	Building Height	2 Storey Above Grade    10.77 (m) Above Grade 1 Storey Below Grade    *Note: existing no change to height of building.		[A]1.4.1.2. & 3.2.1.1.
11.06	Number of Streets/Firefighter Access	2 Street(s)		3.2.2.10. & 3.2.5.
11.07	Building Size	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> >Large		T.11.2.1.1.B.-N.
11.08	Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: - Hazard Index: - Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal    *Building is a secondary school. <input checked="" type="checkbox"/> High <input type="checkbox"/> Post-disaster		11.2.1.1.  T 11.2.1.1.A. T 11.2.1.1B TO N  4.2.1.(3). 5.2.2.1.(2)
11.09	Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation		11.3.3.1. 11.3.3.2.
11.10	Occupant Load:	*No change to occupant load.		3.1.17.1
11.11	Plumbing Fixture Requirement:	Ratio: M/F = 1/1 Except as otherwise noted *No changes to existing washroom plumbing fixtures.		
11.12	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No    Explanation: New renovation areas comply with OBC 3.8.		11.3.3.2 (2)
11.13	Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase in Occupant Load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By Change of Major Occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage-System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Extension of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
11.14	Compensating Construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in Occupant Load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Change of Major Occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage-System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)		11.4.3.1 11.4.3.2 11.4.3.3 11.4.3.4 11.4.2.5 11.4.3.6 11.4.3.7.
11.15	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (list numbers and describe)		11.5.1
11.16	Notes:	Renovations to the existing non-sprinklered school building; closest classification is as follows: O.B.C. Classification: 3.2.2.25. Group A, Division 2, up to 2 Storeys. - The building is permitted to be of non-combustible construction or combustible construction. - Floor assemblies shall have fire separations and if of combustible construction shall have a fire-resistance rating not less than 45 minutes and - Mezzanines if of combustible construction shall have a fire-resistance rating not less than 45 minutes and - Roof assemblies if of combustible construction shall have a fire-resistance rating not less than 45 minutes except that a building not more than 1 storey in height, the fire rating may be waived provided the roof assembly is constructed as a fire-retardant treated wood roof system with exceptions as noted in O.B.C. 3.2.2.25. - All load-bearing walls, columns and arches shall have a fire-resistance rating not less than 45 minutes or be of non-combustible construction.  *Note: 1. The existing two storey building is comprised of fire-rated building components. 1) Public Library = 1202.18 m <sup>2</sup> in building area. 2) Two storey non-sprinklered school = 11638.25 m <sup>2</sup> in building area. (divided into fire-rated compartments) The renovation scope of work for this project is located in this portion of the building. The area of renovation is in two ground floor classrooms in the two storey non-sprinklered portion of the building. The classrooms do provide for individual perimeter sprinklers due to the adjacent of the existing exterior courtyard. 3) Sprinklered two storey school = 1274.94m <sup>2</sup> . 2. The existing building area of the two storey school exceeds the maximum allowable building area for a two storey school facing 2 streets.  3.3.2.5.(3) Corridors: 1- The 1 hour fire resistance rating, for the fire separation required at a corridor, in an assembly occupancy, is permitted to be waived if the floor area in which the corridor is located is sprinklered. *Note: the existing school is not sprinklered in the area of renovation and in such a 1 hour F.R.R. is required at corridor walls.  Scope of Work: 1- Removal of all visible/accessible asbestos containing fire spray/overspray, where applicable. Reapplication of sprayed fireproofing where applicable, while protecting any electrical work/wiring, conduits, etc. 2- Interior renovation to existing classroom 1-117,1-119, work room 1-117A and corridor 1 on the ground floor to provide new ceiling assemblies, light fixtures and devices .	11.5.1	

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

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no.	issue	date
1	Issued for Permit and Tender	March 04, 2025
2	Issued for Construction	June 6, 2025

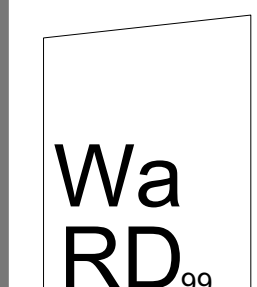
project  
WRDSB GRAND RIVER COLLEGIATE INSTITUTE  
#24-7692-RFT - ASBESTOS REMOVAL FOR FAMILY STUDIES RENOVATION

WATERLOO REGION DISTRICT SCHOOL BOARD  
175 INDIAN RD, KITCHENER, ON N2B 2S7

PROJECT TITLE, DRAWING LIST, PROJECT KEY PLAN AND PROJECT INFORMATION

ward99 project number

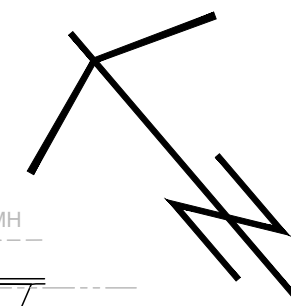
23011 - WRDSB GRAND RIVER FAMILY STUDIES



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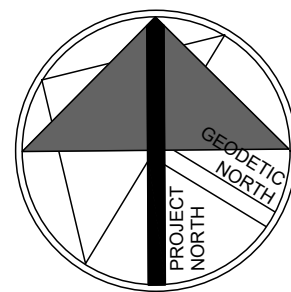
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**MAIN PUBLIC PARKING LOT:**  
THE EXISTING PUBLIC PARKING LOT CAN BE UTILIZED BY THE GENERAL CONTRACTOR FOR THE ENTIRE DURATION OF CONSTRUCTION FOR PARKING OF REGULAR VEHICLES. ONLY A SMALL NUMBER OF CONSTRUCTION VEHICLES IS NOT PERMITTED IN THE MAIN PUBLIC PARKING LOT. THE GENERAL CONTRACTOR MUST KEEP THIS AREA FREE FROM DEBRIS AT ALL TIMES. ANY DAMAGE TO THIS AREA DUE TO ITS OCCUPATION AND USE BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS IS TO BE REPAIRED AND MADE GOOD BEFORE CONSTRUCTION IS COMPLETED. THE MAIN PUBLIC PARKING LOT WILL ALSO BE UTILIZED BY STAFF THROUGHOUT CONSTRUCTION.

1. REFER TO DRAWING A.1 FOR CONSTRUCTION MOBILIZATION AREA AND FOR ADDITIONAL NOTES AND INFORMATION
2. COORDINATE THE FOLLOWING WORK WITH THE OWNER:
  - 1-ALL WORK THAT WILL CREATE EXCESSIVE NOISE, ODOUR, DUST AND/OR VIBRATION
  - 2-ANY WORK THAT REQUIRES ACCESS TO, ALTERATION TO AND/OR SHUT DOWN OF THE BUILDING'S LIFE SAFETY SYSTEMS, ELECTRICAL AND MECHANICAL BUILDING SYSTEMS, ROOMS AND PANELS AND THE FIRE ALARM SYSTEM.
3. COMPLETE ALL DEMOLITION WORK AND NEW WORK WITHIN THE DESCRIBED SCOPE OF WORK AREAS OF THE BUILDING, AND OUTLINED AREAS ENCLOSED BY TEMPORARY PLASTIC MEMBRANE AND AS INDICATED ON THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
4. TEMPORARY EXTERIOR CONSTRUCTION FENCING, AND GATES ARE TO BE REMOVED ONCE THE PROPOSED NEW WORK IS IN PLACE.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RELOCATING AND ADJUSTING THE TEMPORARY EXTERIOR CONSTRUCTION FENCING AND GATES AS REQUIRED TO COMPLETE THE DEMOLITION AND PROPOSED NEW WORK, WHILE ALWAYS MAINTAINING THE SAFETY AND PROTECTION OF THE GRAND RIVER COLLEGIATE INSTITUTE PROPERTY CONTENTS FROM THE CONSTRUCTION WORK AND PUBLIC ACCESS. NOTE THAT THE OWNER WILL REMOVE ALL EQUIPMENT AND FURNITURE FROM THE AREAS OF CONSTRUCTION, EXCEPT WHERE NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
6. THE EXISTING PUBLIC PARKING LOT CAN BE UTILIZED BY THE GENERAL CONTRACTOR FOR THE DURATION OF CONSTRUCTION OF THE PARKING LOT. THE GENERAL CONTRACTOR IS TO KEEP THIS AREA ORGANIZED AND FREE FROM DEBRIS AT ALL TIMES. ANY DAMAGE TO THIS AREA DUE TO ITS OCCUPATION AND USE BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS IS TO BE REPAIRED AND MADE GOOD BEFORE CONSTRUCTION IS COMPLETED.
7. THE GENERAL CONTRACTOR IS TO KEEP THE EXISTING DRIVEWAYS, DRIVE AISLES, PARKING LOT, SIDEWALKS AND WALKWAYS AT THE PERIMETER OF THE SITE, FREE FROM DEBRIS AND OBSTRUCTIONS AT ALL TIMES TO ENSURE THAT PUBLIC ACCESS IS CONSISTENTLY MAINTAINED.
8. THE GENERAL CONTRACTOR WILL NOT HAVE USE OF THE EXISTING PUBLIC WASHROOMS IN THE GRAND RIVER COLLEGIATE INSTITUTE DURING CONSTRUCTION. THE GENERAL CONTRACTOR IS TO INSTALL OUTDOOR WASHROOM FACILITIES FOR THE ENTIRE DURATION OF CONSTRUCTION. ANY DAMAGE TO THE EXISTING PROPERTY DUE TO USE BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS IS TO BE REPAIRED AND MADE GOOD BEFORE CONSTRUCTION IS COMPLETED.
9. PROVIDE TEMPORARY DUST SCREENS WITH SEALED EDGES AT ALL EXISTING AIR RETURNS TO REMAIN IN THE CONSTRUCTION AREA TO PREVENT THE SPREAD OF CONSTRUCTION DUST AND ODORS. REMOVE AFTER COMPLETION OF CONSTRUCTION.
10. MAKE ALL NECESSARY REPAIRS TO THE SITE WHERE AREAS ARE DAMAGED. REINSTATE ALL DAMAGED ITEMS (SIGNAGE, CURBS, LIGHT STANDARDS, DRIVEWAY PAVEMENTS, SODDED AREAS, SIDEWALK, PAINTED LINES, ETC.) DURING CONSTRUCTION AND RESTORE TO AS NEW CONDITION.

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
*Tina Ranieri D'Ovidio*  
TINA RANIERI-D'ODVIO  
LICENCE  
5980

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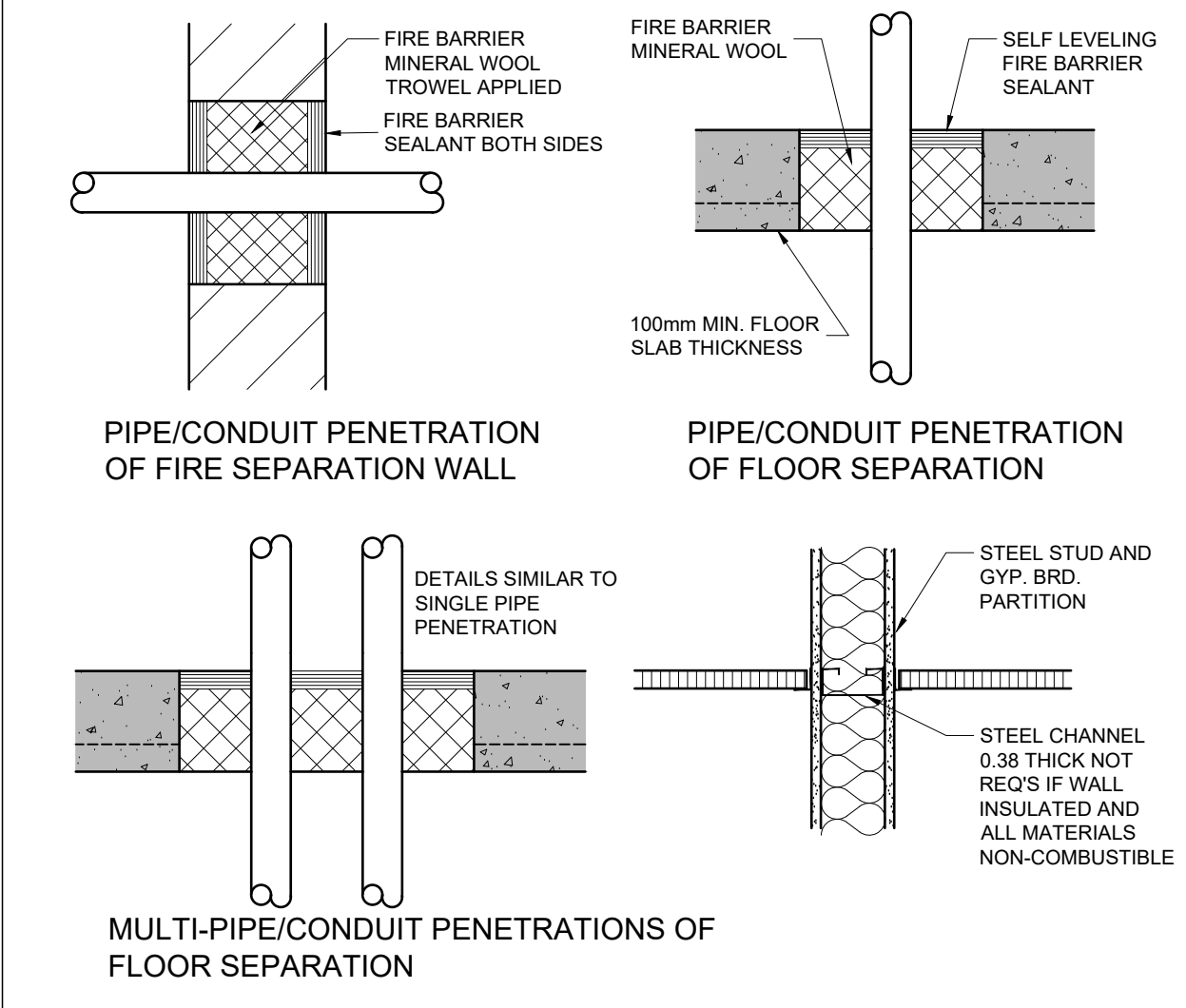
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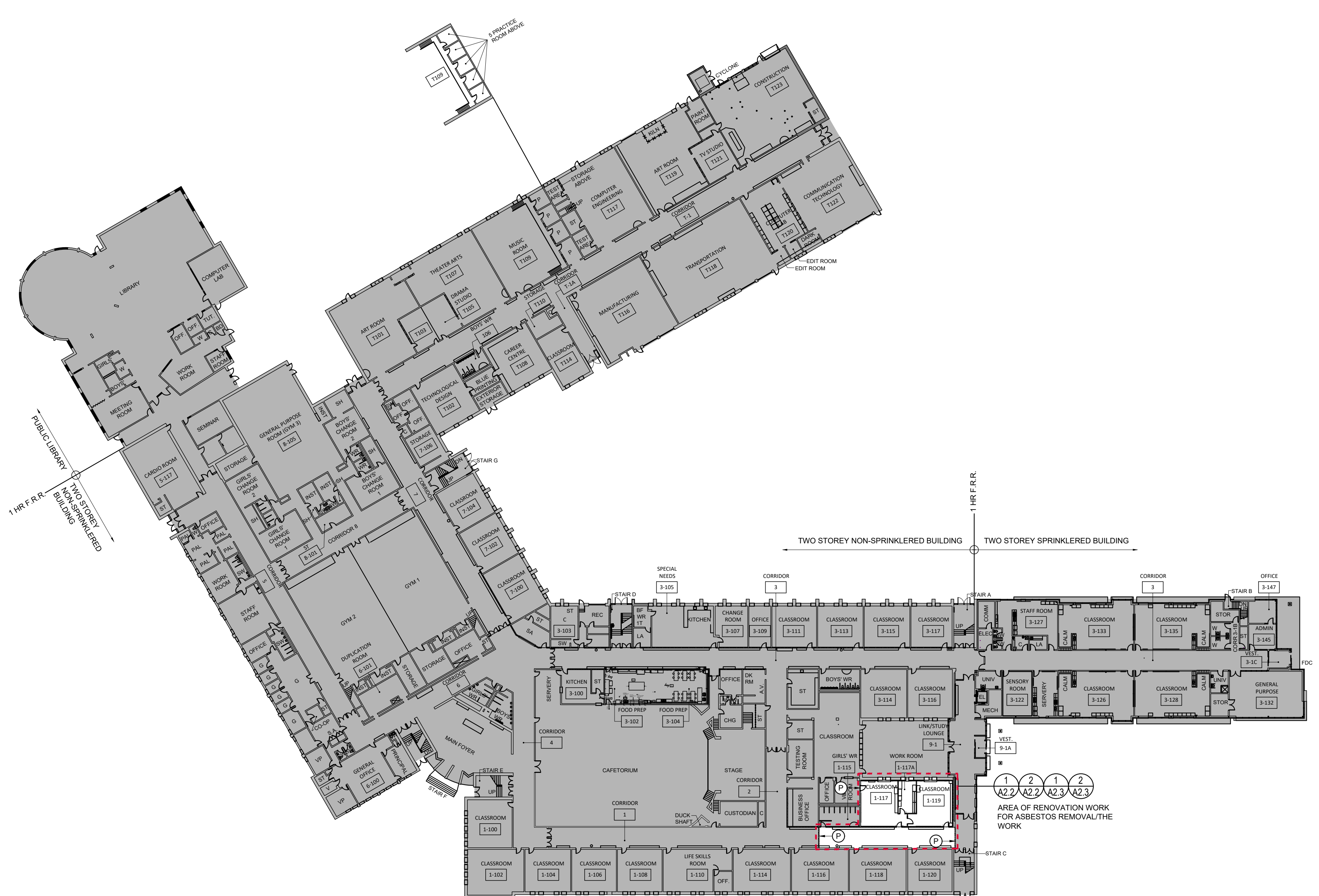
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## A1.1



2 FIRE STOPPING TYPICAL CONDITIONS  
A2.1 1:10



1 EXISTING GROUND FLOOR KEY PLAN  
A2.1 1:500

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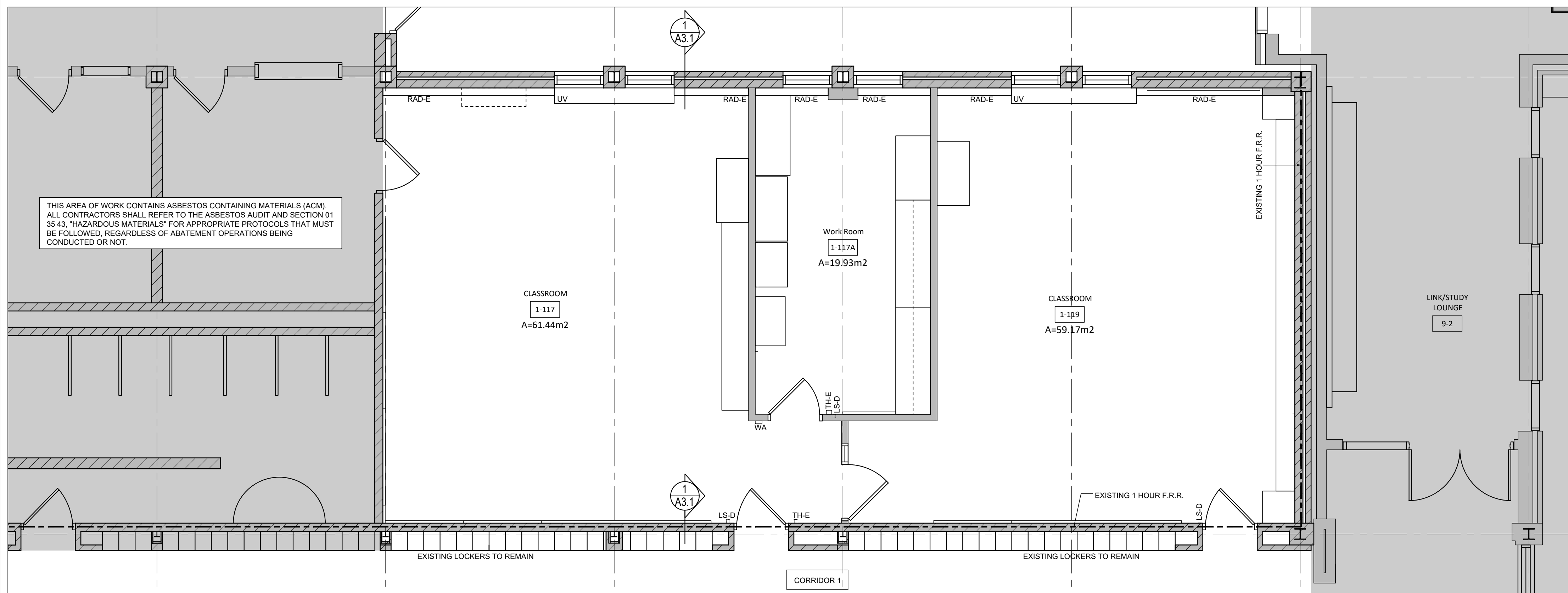
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project: WRDSB GRAND RIVER COLLEGIATE INSTITUTE  
#24-7692-RFT - ASBESTOS REMOVAL FOR FAMILY STUDIES RENOVATION  
175 INDIAN RD, KITCHENER, ON N2B 2S7  
drawing: EXISTING GROUND FLOOR KEY PLAN AND DETAIL  
drawing scale: AS NOTED  
ward99 project number: 23011 - WRDSB GRAND RIVER FAMILY STUDIES

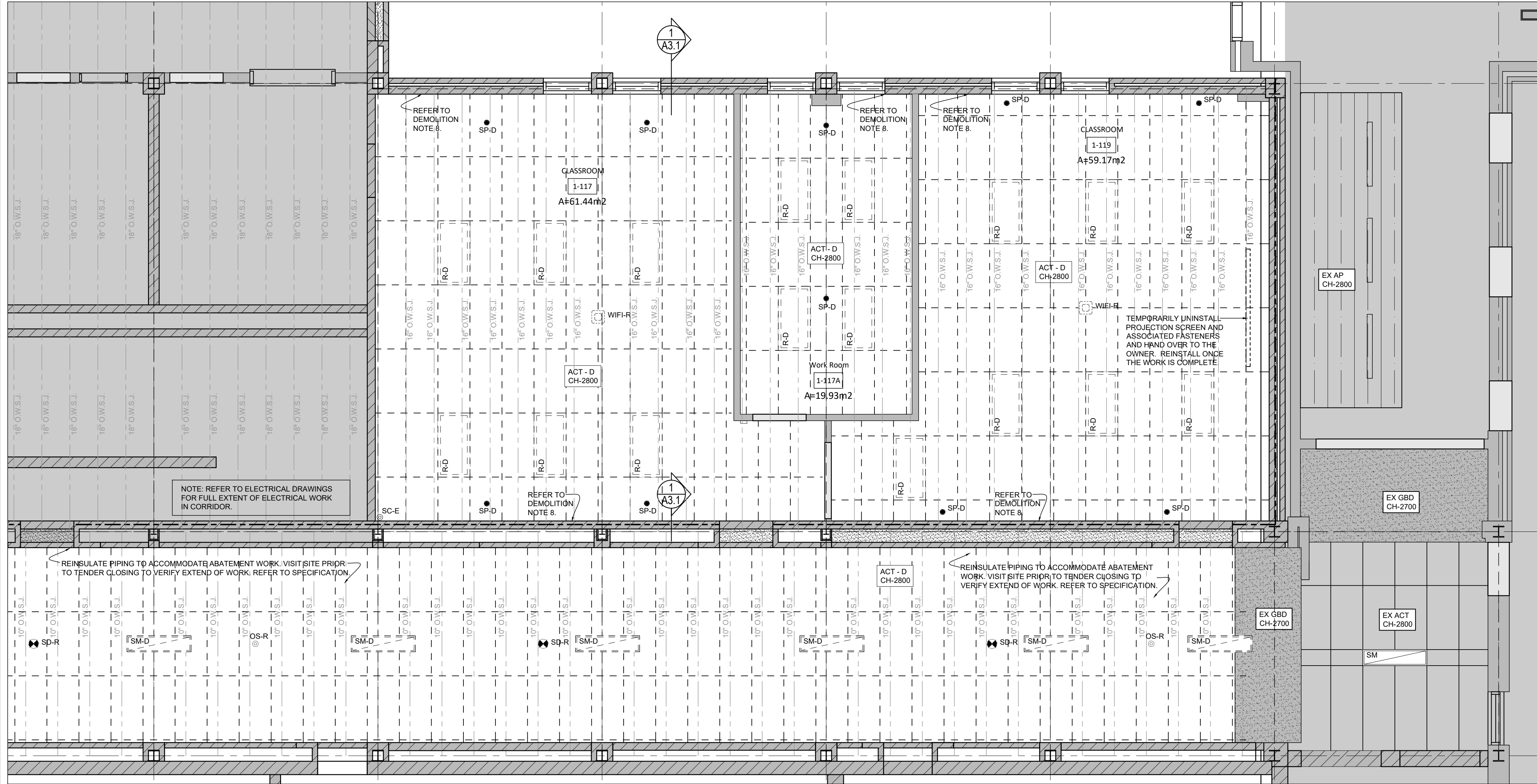
ward99 architects

drawing no.

**A2.1**



1  
A2.2  
PARTIAL GROUND FLOOR PLAN - DEMOLITION  
1:50



2  
A2.2  
PARTIL REFLECTED CEILING PLAN - DEMOLITION  
1:50

#### GENERAL DEMOLITION NOTES

- REFER TO DRAWING A0.0 FOR DRAWINGS NOTES AND TAGS.
- EXISTING DEMOLITION AND PROPOSED REFLECTED CEILING PLAN DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- WHERE POSSIBLE, DEVICES, SPRINKLERS AND GRILLES ARE TO BE CENTRED ON ACOUSTIC CEILING TILES.
- IN CLASSROOM 1-117 AND 1-119; WORK ROOM 1-117A AND CORRIDOR 1, ALL EXISTING MILLWORK, LOCKERS AND WALL MOUNTED BOARDS AND FITMENTS ARE TO REMAIN IN PLACE. PROVIDE PLASTIC MEMBRANE COVERINGS ON ALL WALLS AND FLOORS TO PROTECT ALL WALL MOUNTED BOARDS, FITMENTS, LOCKERS AND MILLWORK AND ALL FLOORING.
- MOVE AND RELOCATE ALL EXISTING LOOSE FURNITURE TO OTHER AREA OF THE BUILDING AS DIRECTED BY THE OWNER.
- CLASSROOM 1-117 PROVIDES ASBESTOS-CONTAINING 9"X9" VINYL FLOOR TILES. THIS FLOORING IS TO REMAIN IN PLACE. PROTECT AND DO NOT DISTURB AS REQUIRED TO COMPLETE THE WORK. REFER TO DESIGNATED SUBSTANCE AND HAZARDOUS MATERIAL ASSESSMENT REPORT AND ASBESTOS AUDIT IN THE PROJECT REMOVAL SPECIFICATION.
- CORRIDOR 1 CONTAINS ASBESTOS-CONTAINING PIPING INSULATION AND FRIBLE DEBRIS. ABATEMENT OF PIPING AND FRIBLE DEBRIS IS TO INCLUDED IN THE CONTRACT. REFER ALSO TO MECHANICAL DRAWINGS. TEMPORARILY REMOVE MECHANICAL DUCTWORK AS REQUIRED TO COMPLETE ABATEMENT WORK AND TO DEMOLISH AND PROVIDE NEW CEILING ASSEMBLIES IN CORRIDOR 1 FOR THE AREA SHOWN.
- REMOVE EXISTING ASBESTOS-CONTAINING CEMENTITIOUS SPRAY FIREPROOFING AT EXISTING BEAM AND ALL OVERSPRAY AT FULL EXTENT OF CORRIDOR 1 (FOR EXTENT SHOWN) , CLASSROOM 1-117 AND 1-119 AND WORK ROOM 1-117A. REPLACE WITH NEW CEMENTITIOUS SPRAY FIREPROOFING (WITH BLUE COLOUR). NEW CEMENTITIOUS SPRAY FIREPROOFING IS TO COMPLY WITH UL DESIGN NO. D708. PROVIDE MINIMUM 1 HOUR FIRE-RESISTANCE RATING.

#### FIRE SEPARATION LEGEND

VERTICAL FIRE SEPARATION

1 HOUR FIRE SEPARATION  
0 HOUR FIRE SEPARATION

#### DEMOLITION PLAN LEGEND

- LS-D = REMOVE AND DISPOSE OF EXISTING LIGHT SWITCH.  
WA = WALL ACTUATOR TO REMAIN.  
\*REFER TO ELECTRICAL DRAWINGS FOR EXTENT OF WORK.
- RAD-E = RETAIN EXISTING WALL MOUNTED HEATER.  
TH-E = EXISTING THERMOSTAT TO REMAIN.  
UV = EXISTING UNIT VENTILATOR TO REMAIN.

#### REFLECTED CEILING PLAN DEMOLITION LEGEND

R-D = REMOVE AND DISPOSE OF EXISTING RECESSED LIGHT FIXTURE.  
SM-D = REMOVE AND DISPOSED OF EXISTING SURFACE MOUNTED LIGHT FIXTURE.  
SM = EXISTING SURFACE MOUNTED LIGHT FIXTURE TO REMAIN.  
REFER TO ELECTRICAL DRAWINGS.

ACT-D = REMOVE AND DISPOSE OF EXISTING SUSPENDED ACOUSTIC CEILING TILE (1200mm X 610mm) AND ASSOCIATED FRAMING ASSEMBLY AND REMOVE AND DISPOSE OF EXISTING SUSPENDED CONCEALED CEILING ASSEMBLY ABOVE, COMPRISED OF 305mm X 305mm X 19mm THICK ACOUSTIC CEILING TILE ON 16mm THICK TYPE X GYPSUM BOARD.  
REMOVE EXISTING ELECTRICAL AND MECHANICAL FIXTURES AND FITMENTS FROM EXISTING CEILING ASSEMBLY. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR RELOCATION OF EXISTING FIXTURES AND PROVISION FOR NEW FIXTURES. PROVIDE NEW CEILING ASSEMBLY AS INDICATED ON PROPOSED REFLECTED CEILING PLAN LAYOUT.  
CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING CEILING.

EX GBD = EXISTING GYPSUM BOARD FINISHED CEILING AND/OR BULKHEAD AND ASSOCIATED FRAMING TO REMAIN.  
EX AP = EXISTING ACOUSTIC PANEL CEILING AND/OR BULKHEAD AND ASSOCIATED FRAMINGS TO REMAIN.  
EX ACT = EXISTING SUSPENDED ACOUSTIC CEILING TILE AND ASSOCIATED FRAMING ASSEMBLY TO REMAIN.  
CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.

EXISTING INTERIOR CONCRETE BLOCK WALL HEADER ABOVE EXISTING WALL OPENING.

WIFI-R = REMOVE AND RELOCATE EXISTING WIRELESS ACCESS DEVICE.  
REFER TO ELECTRICAL DRAWINGS.

SP-D = REMOVE AND DISPOSE EXISTING SPRINKLER.REFER TO MECHANICAL DRAWINGS.

SC-E = EXISTING WALL MOUNTED SECURITY DETECTOR TO REMAIN. REFER TO ELECTRICAL DRAWINGS.

SD-R = REMOVE AND RELOCATE EXISTING SMOKE DETECTOR. REFER TO ELECTRICAL DRAWINGS.

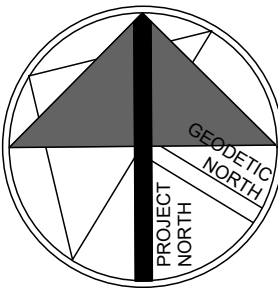
OS-R = REMOVE AND REINSTALL EXISTING MOTION SENSOR. REFER TO ELECTRICAL DRAWINGS.

NOTE:  
TEMPORARILY STORE AND PROTECT EXISTING REMOVED DEVICE UNTIL REINSTALLATION ONTO NEW CEILING ASSEMBLIES. REFER ALSO TO ELECTRICAL DRAWINGS.

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drawing scale  
DEMOLITION PLAN AND REFLECTED  
CEILING DEMOLITION PLAN AND LEGEND AND NOTES

AS NOTED

ward99 project number

23011 - WRDSB GRAND RIVER FAMILY STUDIES

ward99  
architects

drawing no.

Wa  
RD<sub>99</sub>

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A2.2



No.	NAME	FLOOR		BASE	WALLS								CEILING			REMARKS
		MAT.	FIN.	MAT.	NORTH		EAST		SOUTH		WEST		MAT.	FIN.	HEIGHT	
					MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.				
1-117	CLASSROOM	EX CONC	EX	EX	EX CMU/ EX GB	-	EX GB	-	EX CMU	-	EX CMU	-	ACT-N	-	2800	PROVIDE NEW ACOUSTIC CEILING ASSEMBLY WITH NEW CONCEALED FIRE-RATED GYPSUM BOARD FINISHED CEILING ABOVE. REFER TO CEILING ASSEMBLY TYPE C1 ON DRAWING A2.3
1-117A	WORK ROOM	EX CONC	EX	EX	EX CMU	-	EX GB	-	EX GB	-	EX GB	-	ACT-N	-	2800	PROVIDE NEW ACOUSTIC CEILING ASSEMBLY WITH NEW CONCEALED FIRE-RATED GYPSUM BOARD FINISHED CEILING ABOVE. REFER TO CEILING ASSEMBLY TYPE C1 ON DRAWING A2.3
1-119	CLASSROOM	EX CONC	EX	EX	EX CMU/ EX GB	-	EX CMU	-	EX CMU	-	EX GB	-	ACT-N	-	2800	PROVIDE NEW ACOUSTIC CEILING ASSEMBLY WITH NEW CONCEALED FIRE-RATED GYPSUM BOARD FINISHED CEILING ABOVE. REFER TO CEILING ASSEMBLY TYPE C1 ON DRAWING A2.3
1	CORRIDOR	EX CONC	EX	EX	EX CMU	-	EX CMU	-	EX CMU	-	-	-	ACT-N/ EX GBD	-	2800	PROVIDE NEW ACOUSTIC CEILING ASSEMBLY WITH NEW CONCEALED FIRE-RATED GYPSUM BOARD FINISHED CEILING ABOVE. REFER TO CEILING ASSEMBLY TYPE C1 ON DRAWING A2.3

1. REFER TO ELECTRICAL DRAWINGS FOR CEILING MOUNTED FIXTURES AND FITMENTS.
2. REFER TO REFLECTED CEILING PLAN ON DRAWING A2.3 FOR LOCATIONS OF ACOUSTIC CEILING TILE ASSEMBLIES.

NOTE: PROVIDE PLASTIC MEMBRANE AT ALL WALLS AND FLOORS IN DEMOLITION AREAS. (TYP.)

6

EXISTING FLOOR ASSEMBLY IS CONSTRUCTED OF 64mm (2-1/2") REINFORCED CONCRETE SLAB ON 400mm (16") OWSJ (SIZE AND SPACING VARIES. SITE VERIFY) UNLESS NOTED OTHERWISE.

EXISTING CONCRETE CAVITY WALL ASSEMBLY.

EXISTING RUBBER FLOORING ON CONCRETE FLOOR SLAB.

EXISTING 16" OWSJ. SITE VERIFY.

EXISTING CONCRETE-MASONRY WALL ASSEMBLY.

3

REMOVE EXISTING ASBESTOS CONTAINING CEMENTITIOUS SPRAYED FIREPROOFING AT EXISTING BEAM AND ALL OVERSPRAY. REFER TO HAZARDOUS MATERIAL REPORTS IN PROJECT MANUAL.

DEMOLISH EXISTING NAILING CHANNELS AND EXISTING GYPSUM BOARD AND 9"x9" ACOUSTIC TILE ADHERED TO GYPSUM BOARD FOR FULL EXTENT OF CLASSROOM 1-117 AND 1-119 AND WORK ROOM 1-117A.

REMOVE AND DISPOSE OF EXISTING SUSPENDED ACOUSTIC CEILING TILE AND T-BAR GRID IN ITS ENTIRETY (TYP.) IN CLASSROOM 1-117 AND 1-119 AND WORK ROOM 1-117A.

CLASSROOM 1-117

EXISTING VINYL FLOORING ON CONCRETE SLAB-ON-GRADE. (TYP.) REFER TO GENERAL DEMOLITION NOTES ON DRAWING A2.2.

EXISTING PRE-CAST CONCRETE SUNSHADE BEYOND.

TO EX FIN. SECOND FLOOR 3658

4700

5020

2800 ± SITE VERIFY

4700

2800 ± SITE VERIFY

CORRIDOR 1

REMOVE AND DISPOSE OF EXISTING SUSPENDED ACOUSTIC CEILING TILE AND T-BAR GRID IN ITS ENTIRETY. (TYP.)

EXISTING CONCRETE MASONRY WALL BEYOND.

EXISTING METAL LOCKERS TO REMAIN.

TO EX FIN. GROUND FLOOR 0000

EXISTING CONCRETE FOUNDATION WALL. REFER TO STRUCTURAL DRAWINGS. (TYP.)



ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
*Tina Ranieri D'Ovidio*  
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LICENCE  
5980

[illegible]

no.	issue	date
1	Issued for Permit and Tender	March 04, 2025
2	Issued for Construction	June 6, 2025

Wa  
RD<sub>99</sub>

## A3.1