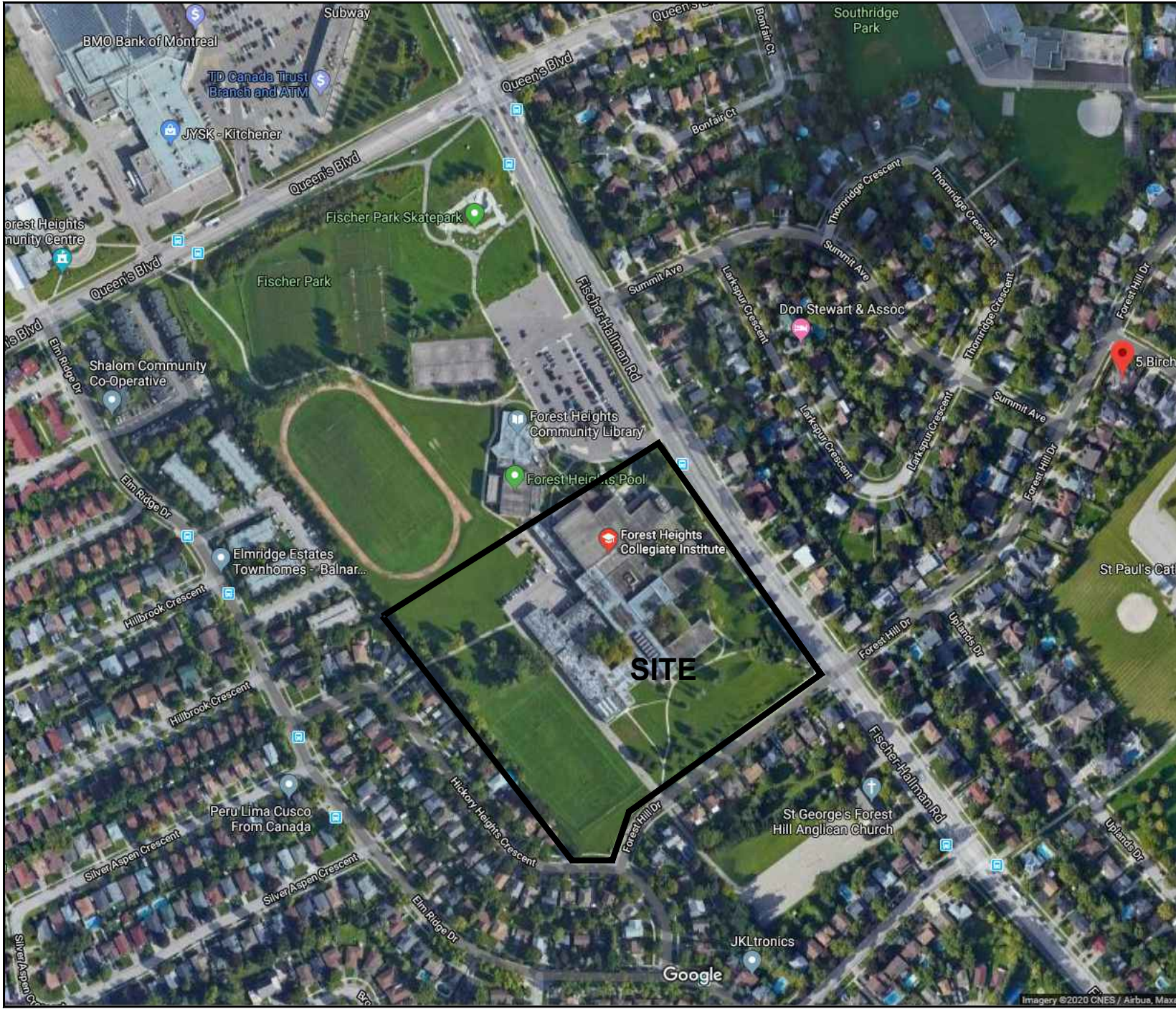




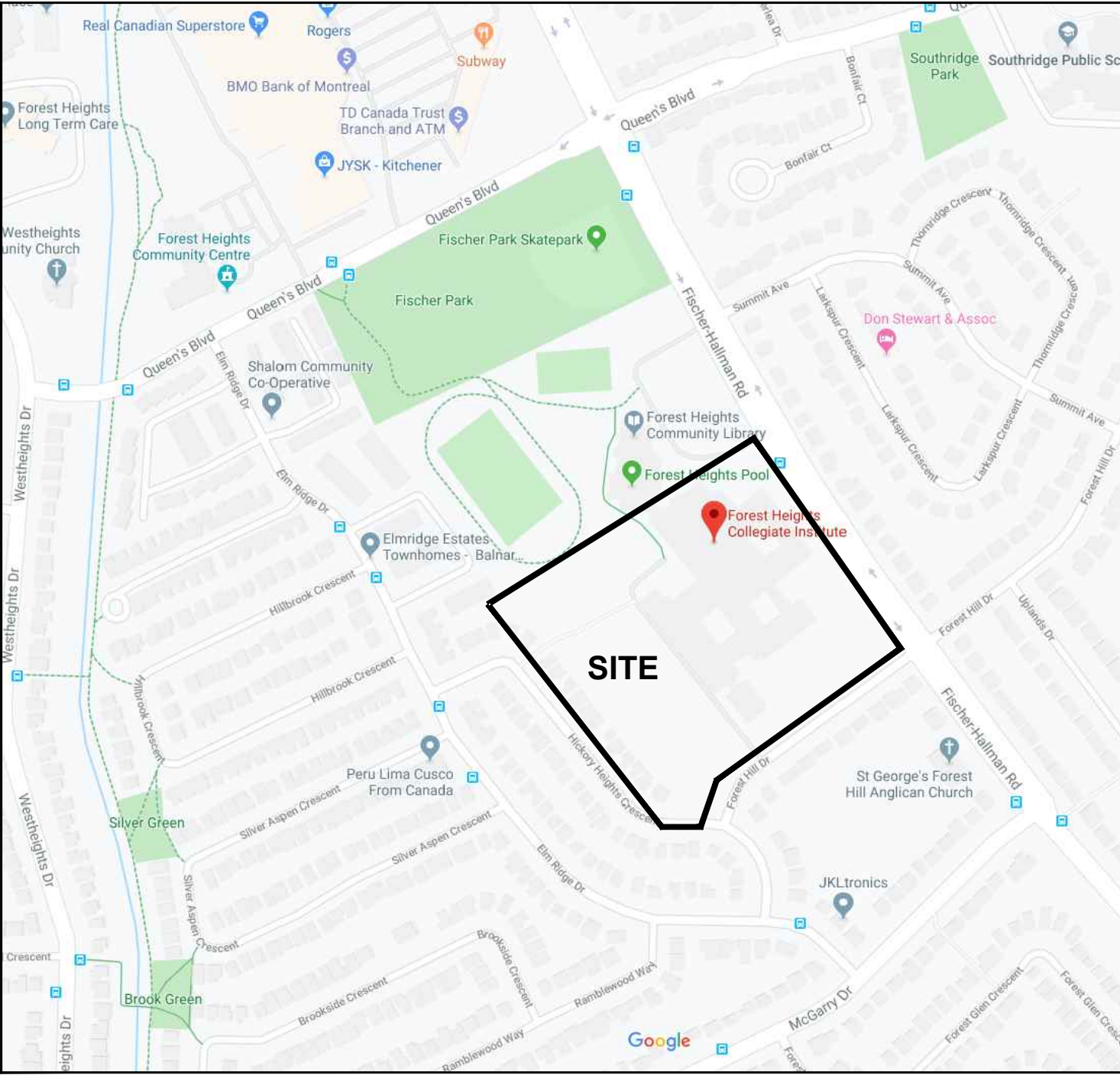
WATERLOO REGION
DISTRICT SCHOOL
BOARD

FOREST HEIGHTS COLLEGIATE INSTITUTE
TECH. SHOP REVITALIZATION AND WINDOW
REPLACEMENT

TENDER # 25-7636-RFT
255 Fischer-Hallman Rd,
Kitchener, ON N2M 4X8



SATELLITE VIEW



KEY PLAN

ONTARIO BUILDING CODE DATA MATRIX

Firm Name:
Certificate of Practice Number:
The Certificate of Practice Number of the holder is the holder's BCDN.

Kingsland + Architects Inc.
4549

Firm Address and Contact Information:

Colin J. Kingsland
Partner, B.E.S., B.Arch.,
O.A.A., LEED AP
219 Dufferin Street, Suite 308b
Toronto, Ontario M8K 3J1
Telephone: 416-203-7769 x 105
Facsimile: 416-203-7763
Email: C.Kingsland@KingslandPlus.com

Name and Address of Project:

FOREST HEIGHTS COLLEGIATE INSTITUTE
TECH. SHOP REVITALIZATION AND WINDOW
REPLACEMENT
255 Fischer-Hallman Rd,
Kitchener, ON N2M 4X8

The architect noted above has
exercised responsible control
with respect to design activities.
The architect's seal number is
the architect's BCDN.

Ontario Building Code Data Matrix - Parts 3 & 9

Project Description:

☐ New
☐ Addition
☐ Change of Use
☐ Alteration

☒ Part 11

Major Occupancy(s):

Group "A2"

Building Area (m²)

Existing: 15,893.00 New: - Total: 15,893.00

Gross Area (m²)

Existing: 32,942.50 New: - Total: 32,942.50

Number of Storeys:

Above Grade: 2 Below Grade: 1

Number of Streets/Fire Fighter Access:

EXISTING

Building Classification:

ASSEMBLY OCCUPANCY, GROUP A2

Sprinkler System Proposed:

☐ entire building
☐ selected compartments
☐ selected floor areas
☐ basement ☐ in lieu of roof rating
☒ not required

3.2.2.20,-83
3.2.1.5,
3.2.2.17,
INDEX

Standpipe required:

☐ Yes ☒ No

Fire Alarm required:

☒ Yes ☐ No

Water Service/Supply is adequate:

☒ Yes ☐ No

High Building:

☐ Yes ☒ No

Construction Restrictions

☐ Comb. Permitted ☒ Non-comb. required ☐ Both

Actual Construction:

☐ Combustible ☒ Non-combustible ☐ Both

Mezzanine(s) Area (m²):

N/A DEMO AREA = 79SM

Occupant Load based:

☐ m²/person ☒ design of building

Existing Building:

Load EXISTING persons

Barrier-free Design:

☒ Yes ☐ No

Hazardous Substances:

☐ Yes ☒ No

Required Fire Resistance Rating (FRR)

Horizontal Assemblies
FRR (Hours)

Floors: 1 Hours
Roof: n/a Mins
Mezzanine: n/a Min

Listed Design No. or Description (SB-3)

Supporting Members
FRR (Hours)

Floors: 1 Hours
Roof: n/a Mins
Mezzanine: n/a Min

Listed Design No. or Description (SB-3)

Spatial Separation - Construction of Exterior Walls

Wall

Area of EBF (ft²)

L.D. (m)

L/H or H/L

Permitted Max. % of Openings

FRR (Hours)

Listed Design or Description

Comb. Const.

Comb. Const. Nonc. Cladding

Non-comb. Const.

North

-

-

-

EXISTING

-

-

-

-

-

South

-

-

-

EXISTING

-

-

-

-

-

East

-

-

-

EXISTING

-

-

-

-

-

West

-

-

-

EXISTING

-

-

-

-

-

Ontario Building Code Data Matrix - Parts 11 - Renovation of Existing Building			OBC Reference
11.1	Project Description:	Describe Existing Use: SCHOOL - A2 Construction Index: _____ Hazard Index: _____ <input type="checkbox"/> Not Applicable (no change of major occupancy)	11.2.1.1
11.2	Alteration to Existing Building Is:	Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>	11.3.3.1
11.3	Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage-system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	Compensating Construction:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (explain) Plumbing fixtures replaced at the Tech. shops Sewage System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s)) _____	11.5.1
11.6	Alternative Measures Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) _____	11.5.2

SYMBOL LEGEND

EXISTING WALL

EX. WALL TO BE REMOVED

NEW WALL

FIRE SEPARATION

WALL TYPE
- SEE SPECIFICATION

DOOR NUMBER
EXISTING DOOR

DOOR NUMBER
NEW DOOR

BUILDING SECTION NUMBER
SHEET NUMBER

WALL SECTION NUMBER
SHEET NUMBER

DETAIL NUMBER
SHEET NUMBER

DETAIL DRAWING NUMBER
SEE SPECIFICATION

WINDOW TYPE

SCREEN TYPE

ROOM NAME
ROOM NUMBER

CEILING MATERIAL
CEILING HEIGHT

FOR DOOR SCHEDULE AND ROOM FINISH
SCHEDULE SEE SPECIFICATION.

LIST OF DRAWINGS

ARCHITECTURAL

A0-0

COVER & OBC MATRIX

A2-0

OVERALL FIRST AND SECOND FLOOR PLAN

A2-1

OVERALL ROOF FLOOR PLAN

A2-2

PARTIAL SECOND FLOOR AND ROOF PLANS

A2-3

PARTIAL FIRST FLOOR PLAN

A2-4

TECH WING DEMOLITION & PROPOSED

A2-5

TECH WING CLASSROOM INTERIOR ELEVATIONS

A2-6

TECH WING CLASSROOM INTERIOR ELEVATIONS

A2-7

TECH WING CLASSROOM INTERIOR ELEVATIONS

A2-8

ENLARGEMENT PLAN AT NEW DOORS OPENING

A2-9

STAFF ROOM - DEMO & NEW AND INTERIOR ELEVATIONS

A2-10

BARRIER FREE - ADO

A2-11

PARTIAL FIRST FLOOR PLAN

A2-12

TECH WING WINDOW REPLACEMENT

A2-13

PARTIAL DEMO AND NEW CEILING PLANS

STRUCTURAL

S1.0

ROOF FRAMING PLAN, DETAILS, GENERAL NOTES

S2.0

STEEL STUD DETAILS

MECHANICAL

M000

MECHANICAL TITLE SHEET

M100

PARTIAL FLOOR PLAN - SANITARY DEMOLITION & NEW SANITARY

M200

PARTIAL FLOOR PLAN - DEMOLITION & NEW DOMESTIC

M300

PARTIAL PLAN - HEATING DEMOLITION

M301

PARTIAL FLOOR PLAN - NEW HEATING

M400

PARTIAL FLOOR & ROOF PLANS - HVAC DEMOLITION

M401

PARTIAL FLOOR & ROOF PLANS - NEW HVAC

M402

SECTIONS & DETAILS - NEW HVAC

M500

MECHANICAL SCHEDULES & DETAILS

ELECTRICAL

E000

ELECTRICAL TITLE SHEET

E100

PARTIAL FLOOR PLAN - DEMOLITION & NEW LIGHTING

E200

PARTIAL FLOOR PLAN - DEMOLITION & NEW POWER

E201

PARTIAL FLOOR PLAN - DEMOLITION & NEW POWER

E202

PARTIAL FLOOR PLAN - DEMOLITION & NEW POWER

E300

ELECTRICAL RISER DIAGRAM

E301

ELECTRICAL SCHEDULES AND DETAILS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL
CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE
ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS
ARE FOR YOUR INFORMATION AND ASSISTANCE ONLY AND DO NOT
NECESSARILY COMMENT ON ALL AREAS OF CONSTRUCTION.

THE ONTARIO BUILDING CODE REQUIRES THAT A
COPY OF THE DRAWINGS AND SPECIFICATIONS THAT
HAVE BEEN REVIEWED BY OUR DEPARTMENT BE KEPT
AT THE CONSTRUCTION SITE AT ALL TIMES.

PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN
CONFORMANCE WITH O.F.C. 6.2. SEE ATTACHED HANDOUT
AND REVIEW PLACEMENT WITH BUILDING INSPECTOR ON SITE.

FIRE ALARM SYSTEM TO BE DESIGNED, INSTALLED
AND TESTED AS PER CAN/ULC-S524, CAN/ULC
S537 AND APPLICABLE O.B.C. REQUIREMENTS

EXISTING. RE-VERIFICATION REQUIRED.

DURING THE REMOVAL PROCESS AIRBORNE
CONCENTRATIONS OF DESIGNATED SUBSTANCES ARE
REQUIRED TO BE MEASURED AND MONITORED, WITH
THE RESULTS POSTED ON SITE IN ACCORDANCE WITH
ONTARIO HEALTH & SAFETY ACT SEC 24 & 25 OF
O.REG. 490/09 - DESIGNATED SUBSTANCES.

SEE ATTACHED GUIDELINES FOR
MAINTAINING FIRE SAFETY DURING
CONSTRUCTION IN EXISTING BUILDINGS.

SEE ADDITIONAL
NOTES/COMMENTS ON BUILDING
CODE REVIEW LETTER ATTACHED.

25 109869	255 FISCHER HALLMAN RD	25 102581	255 FISCHER HALLMAN RD
Mezzanine Demolition Government / Institutional	Interior Demolition	Non-Residential Alteration Government / Institutional	Interior Finish

RESUBMITTED FOR BUILDING PERMIT

ISSUED FOR TENDER AND PERMIT

ISSUED FOR CLIENT REVIEW

ISSUED FOR CLIENT REVIEW

NO DATE

REVISION

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO
BE CHECKED AND VERIFIED ON THE JOB. ALL
DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECTS.

GENERAL NOTES

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COMPLY WITH THE REQUIREMENTS OF THE
ONTARIO BUILDING CODE, LATEST
EDITION, AND ALL OTHER ACTS
ADMINISTERED BY ALL AUTHORITIES HAVING
JURISDICTION.

2. THESE DRAWINGS TO BE READ IN
CONJUNCTION WITH ALL OTHER CONTRACT
DOCUMENTS, AND SPECIFICATIONS.

3. THE DESIGN LOADS SHALL NOT BE
EXCEEDED DURING CONSTRUCTION.

4. ALL DIMENSIONS, SHOWN ON THE
DRAWINGS, SHALL BE CHECKED BY THE
CONTRACTOR BEFORE PROCEEDING WITH THE
WORK.

5. THE STABILITY OF THE STRUCTURAL FRAME
IS DEPENDENT ON THE FULL INTERACTION
OF ALL STRUCTURAL COMPONENTS. THE
GENERAL CONTRACTOR SHALL PROVIDE ALL
NECESSARY TEMPORARY BRACING DURING
CONSTRUCTION.

6. ALL DIMENSIONS GIVEN ARE IN METRIC.

PROJECT NORTH

Kingsland +
ARCHITECTS INC.

KINGSLAND + ARCHITECTS INC
219 Dufferin Street, Suite 308b
Toronto, Ontario M8K 3J1
ph 416.203.7769
fax 416.203.7763

ONTARIO ASSOCIATION
OF ARCHITECTS

COLIN J. KINGSLAND
LEED AP
4549

WATERLOO REGION
DISTRICT SCHOOL BOARD

FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION
AND
WINDOW REPLACEMENT
255 Fischer Hallman Rd,
Kitchener, ON N2M 4X8

DRAWING TITLE:
COVER & OBC MATRIX

PROJECT NO:
A23018

SCALE:
AS NOTED

DRAWN:
K+

DRAWING NO:
REV.

CHECKED:
K+

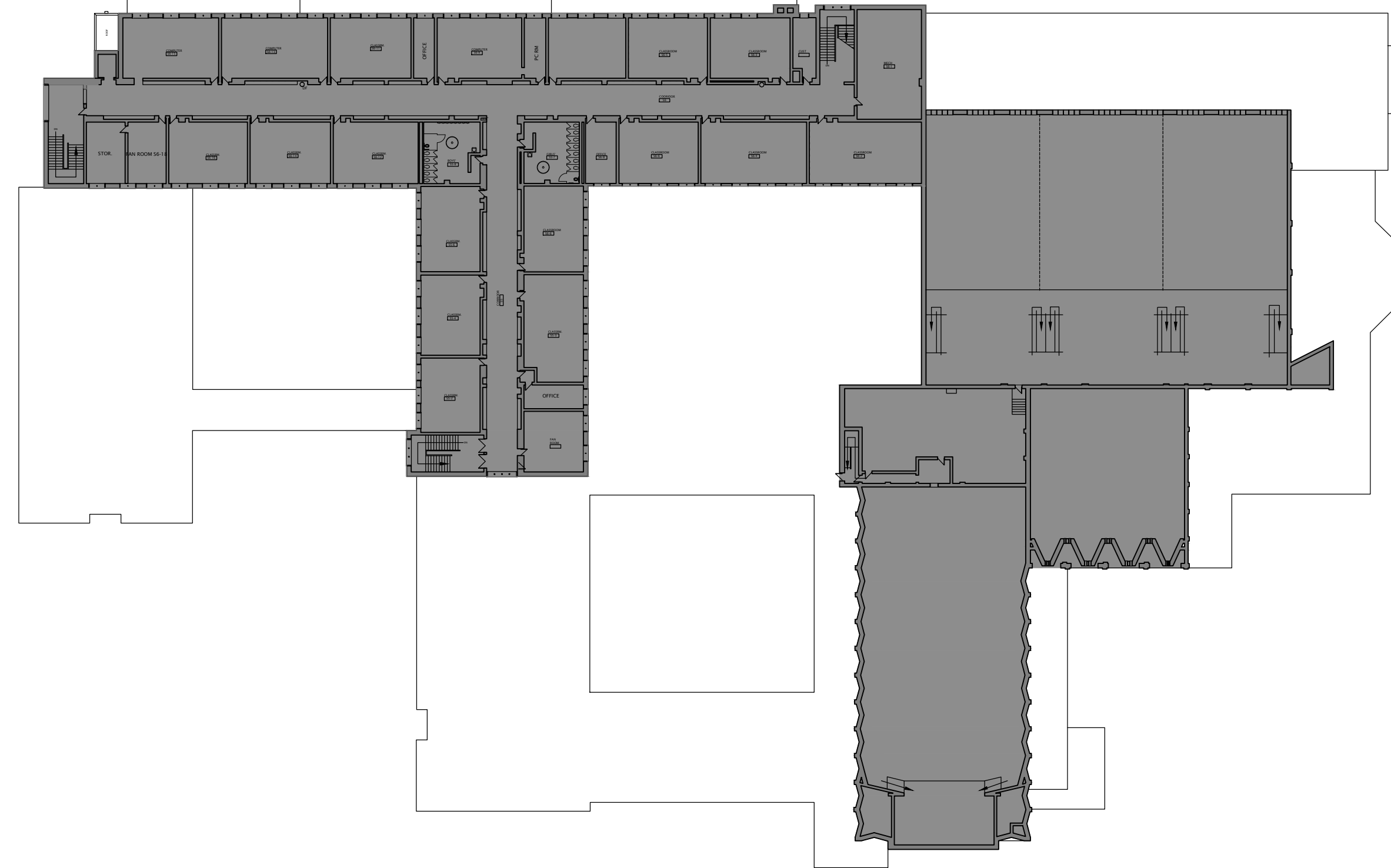
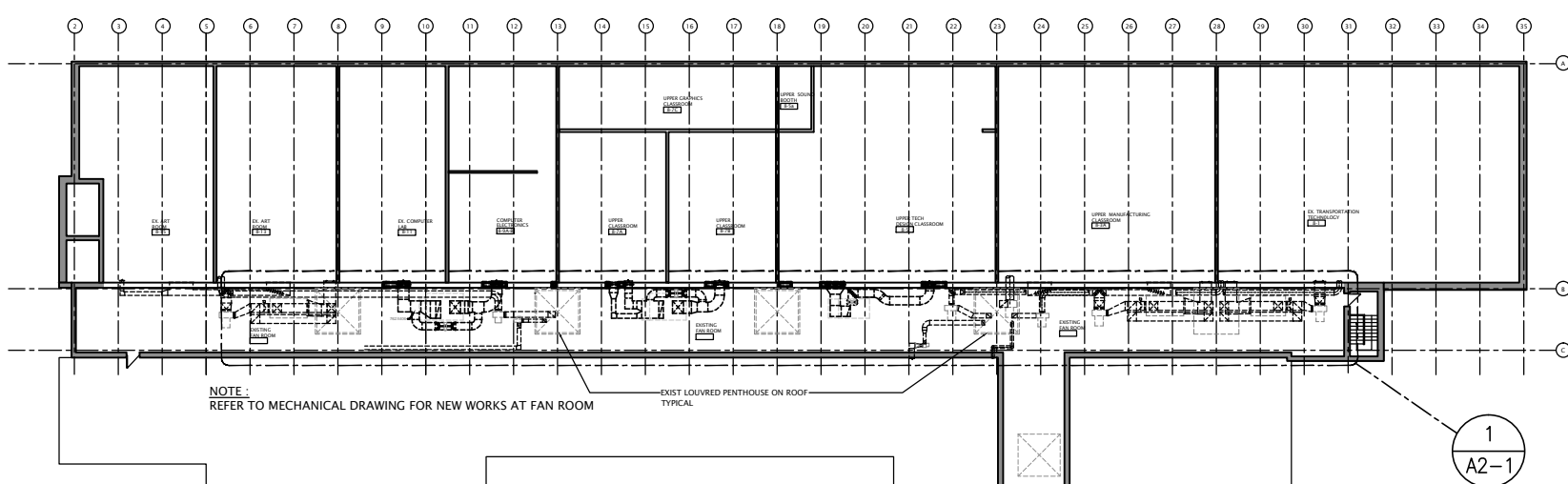
DATE:
JAN/24

A0-0

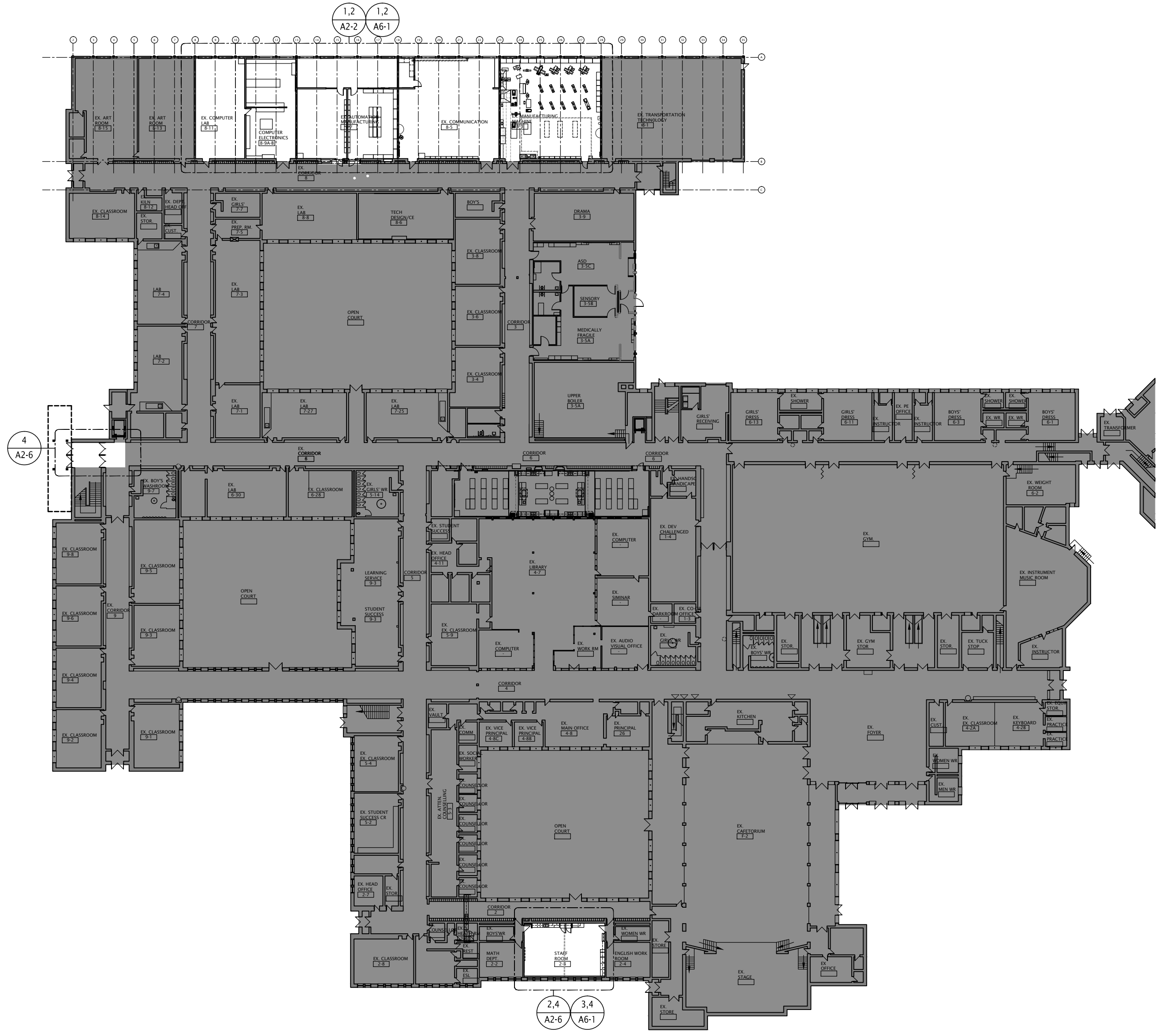
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FILES: A23018- A0-0 COVER.DWG

DATE PLOTTED: Apr 10, 2025



2 OVERALL SECOND FLOOR PLAN
SCALE - 1:500



THIS AREA OF WORK CONTAINS ASBESTOS CONTAINING MATERIALS (ACM). ALL CONTRACTORS SHALL REFER TO THE ASBESTOS AUDIT AND SECTION 01.35.43, HAZARDOUS MATERIALS FOR APPROPRIATE PROTOCOLS THAT MUST BE FOLLOWED, REGARDLESS OF ABATEMENT OPERATIONS BEING CONDUCTED OR NOT.

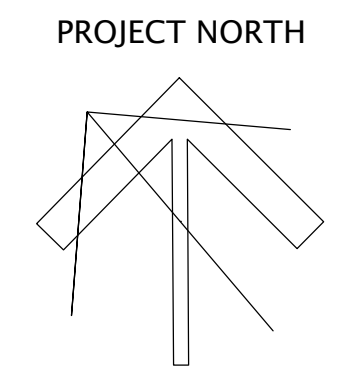
1 OVERALL FIRST FLOOR PLAN
SCALE - 1:500

DURING THE REMOVAL PROCESS AIRBORNE CONCENTRATIONS OF DESIGNATED SUBSTANCES ARE REQUIRED TO BE MEASURED AND MONITORED, WITH THE RESULTS POSTED ON SITE IN ACCORDANCE WITH ONTARIO HEALTH & SAFETY ACT SEC 24 & 25 OF O.REG. 490/09 - DESIGNATED SUBSTANCES.

NO	DATE	REVISION
2	29/07/24	ISSUED FOR TENDER AND PERMIT
1	24/11/24	ISSUED FOR CLIENT REVIEW
0	24/07/24	ISSUED FOR CLIENT REVIEW

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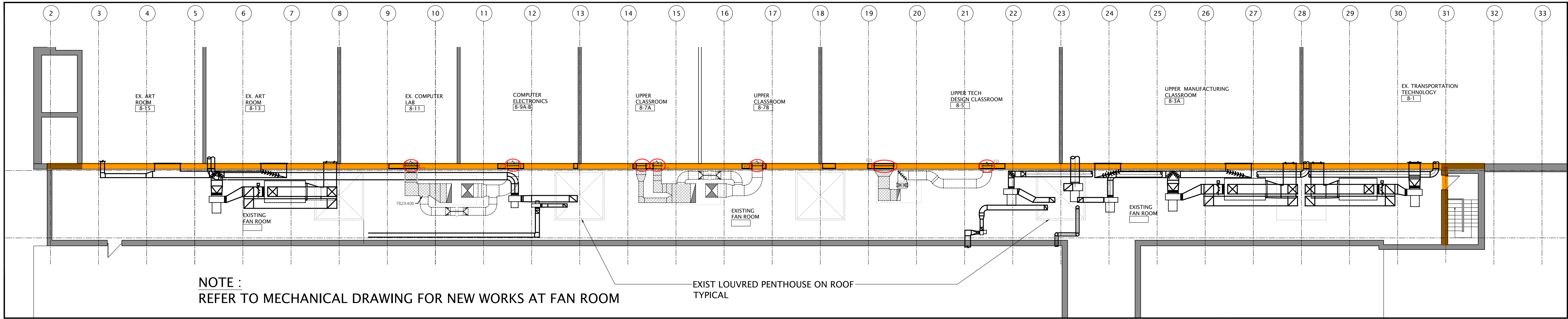
Kingsland + ARCHITECTS INC.

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219 Dufferin Street, Suite 308b
Toronto, Ontario M5K 3J1
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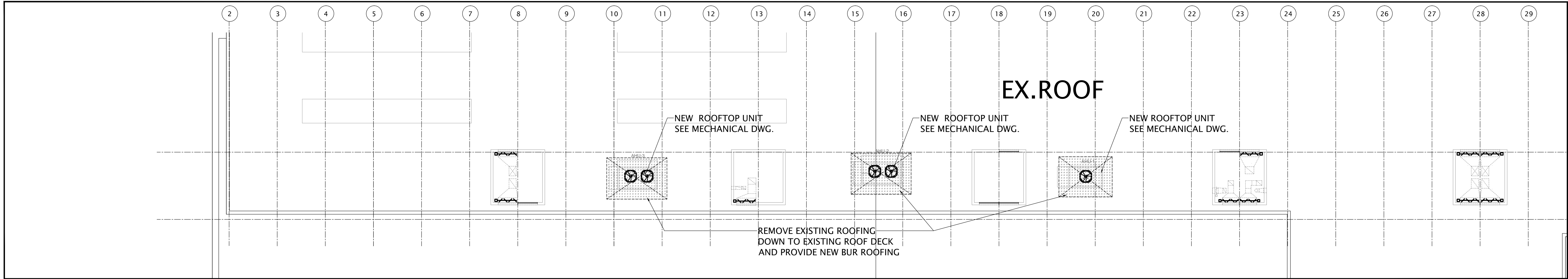
FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION
AND
WINDOW REPLACEMENT
255 Fischer Hallman Rd.
Kitchener, ON N2M 4G8

DRAWING TITLE: OVERALL FIRST & SECOND FLOOR PLANS		
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DRAWN: K+	DRAWING NO:	REV.
CHECKED: K+	A2-0	2
DATE: JAN/24		

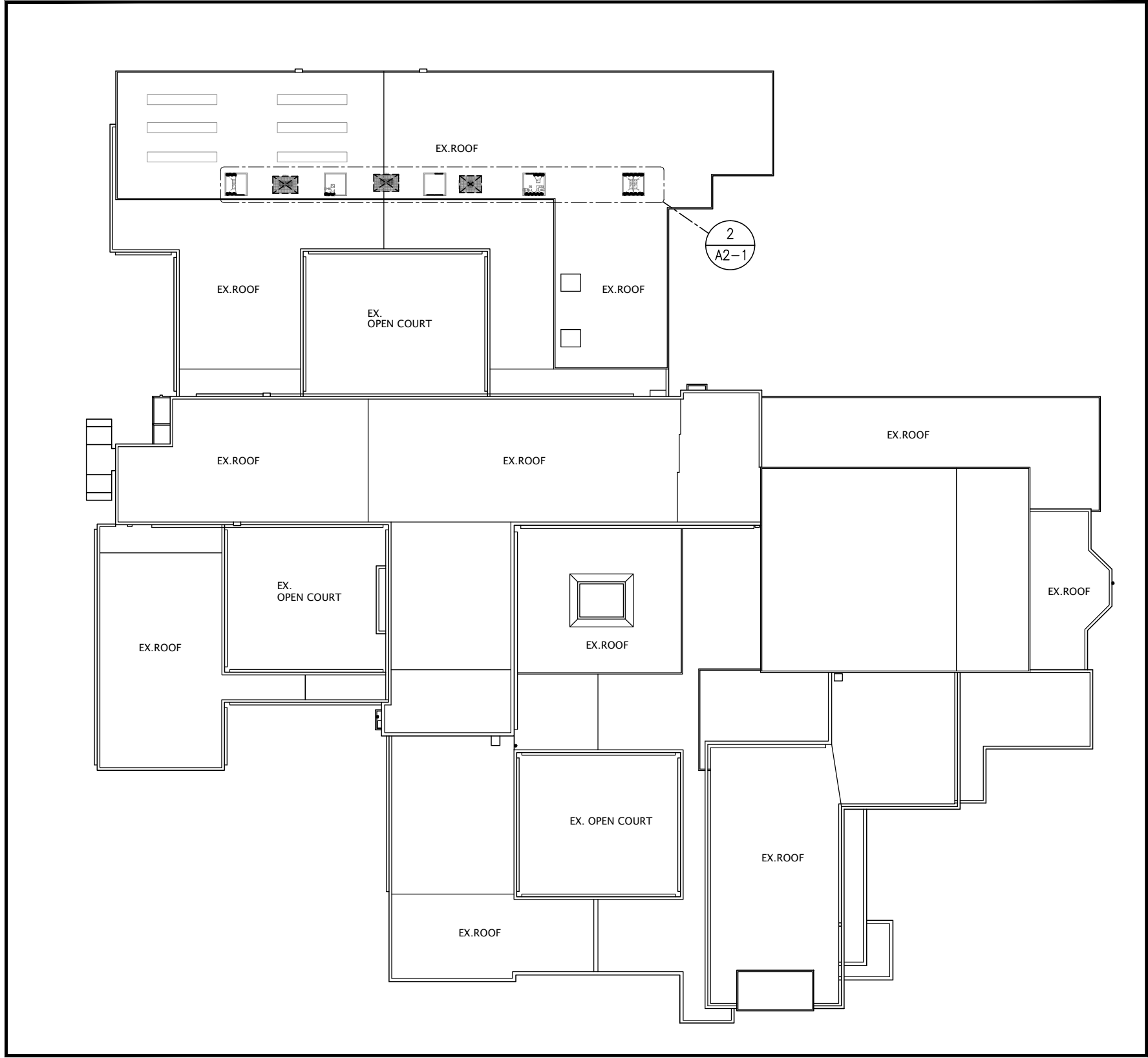


3 PARTIAL EXISTING SECOND FLOOR - FAN ROOM
SCALE - 1:125

FIRE DAMPERS REQUIRED AT DUCT PENETRATIONS
THROUGH RATED FIRE SEPARATIONS.



2 PARTIAL EXISTING ROOF PLAN
SCALE - 1:125



1 OVERALL ROOF PLAN
SCALE - 1:750

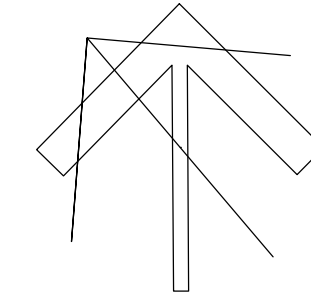
NO.	DATE	REVISION
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1	24/11/23	ISSUED FOR CLIENT REVIEW
0	24/07/24	ISSUED FOR CLIENT REVIEW

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PROJECT NORTH



Kingsland + ARCHITECTS INC.

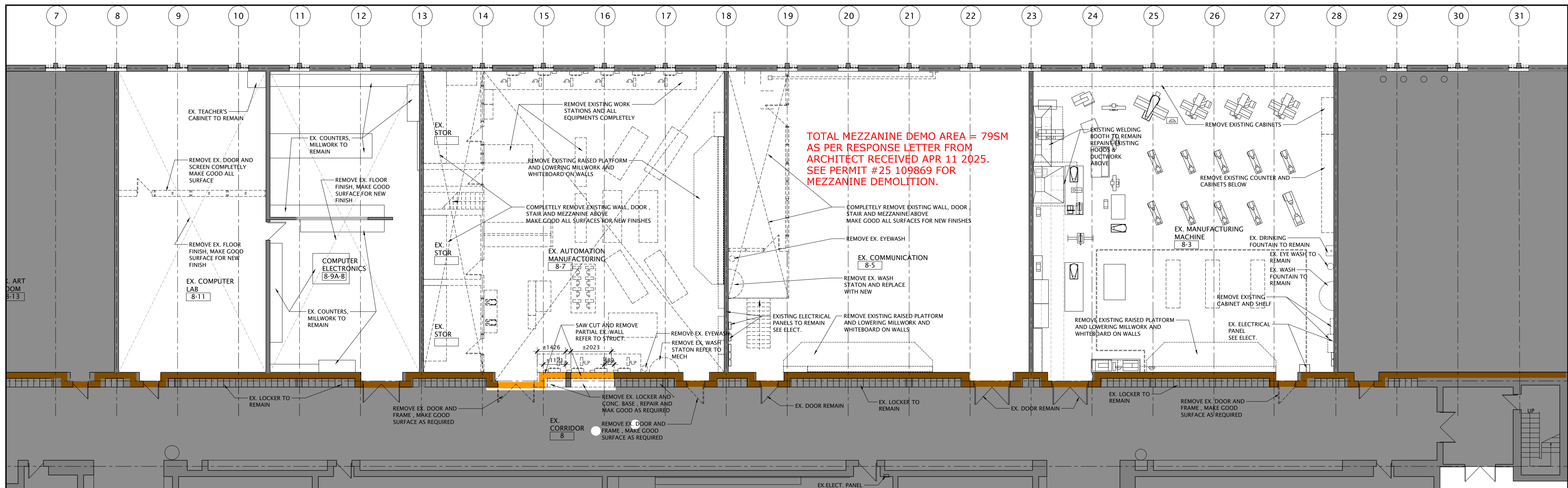
KINGSLAND + ARCHITECTS INC.
219 Dufferin Street, Suite 308b
Toronto, Ontario M5K 3L1
ph 416.203.7799
fax 416.203.7763



FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION
AND WINDOW REPLACEMENT
255 Fischer Hallman Rd.
Kitchener, ON N2M 4G8

DRAWING TITLE:
OVERALL EXISTING ROOF PLAN
PARTIAL SECOND FLOOR AND
ROOF PLANS

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DRAWN: K+	DRAWING NO.: REV.
CHECKED: K+	A2-1
DATE: JAN/24	2

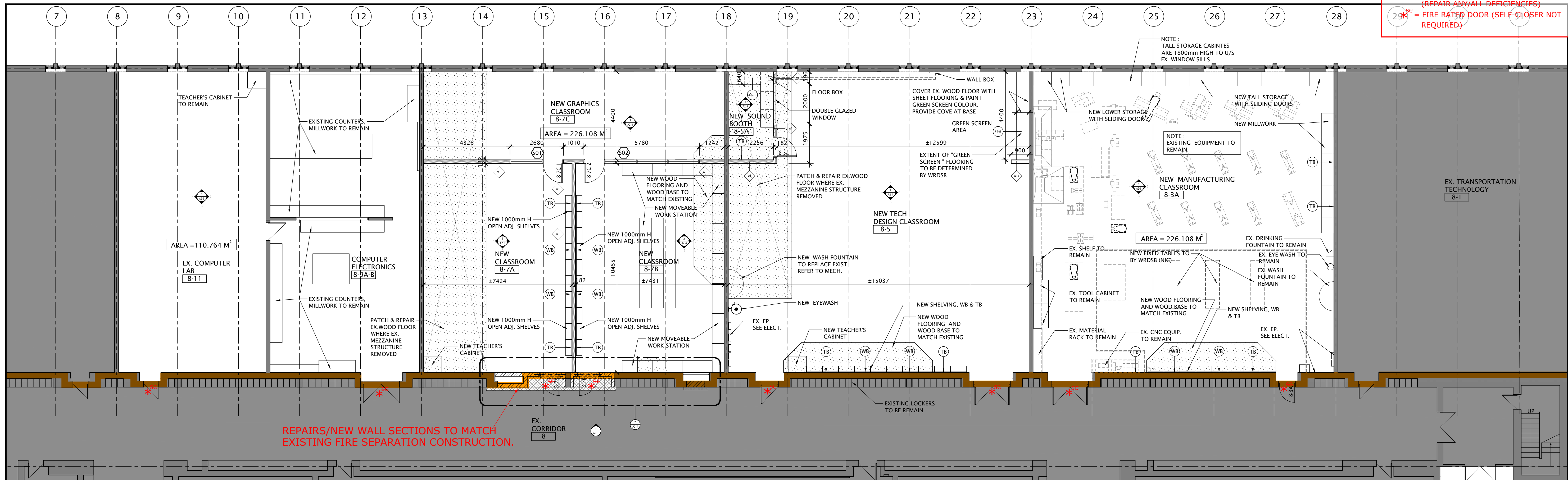


1 PARTIAL FIRST FLOOR PLAN - DEMOLITION
SCALE - 1:50

DOORS IN A BARRIER-FREE PATH OF TRAVEL REQUIRE A MINIMUM CLEAR WIDTH OF NOT LESS THAN 860mm.

LEGEND

- = EXISTING FIRE SEPARATION (REPAIR ANY/ALL DEFICIENCIES)
- = FIRE RATED DOOR (SELF-CLOSER NOT REQUIRED)



FINISH NOTE FOR TECH CLASSROOM 8.11:

1. PATCH / REPAIR AND REFINISH WOOD FLOOR WHERE GLAZING SCREEN PARTITION REMOVED
2. PROVIDE NEW ACOUSTIC SUSPENDED CEILING & NEW LED LIGHTING TO REPLACES EXISTING CEILING
3. PROVIDE PLYWOOD BACKING TO 8' HEIGHT FOR MILLWORK INSTALLATION.
4. PAINT ALL WALLS

FLAME SPREAD RATING OF INTERIOR FINISHES SHALL NOT EXCEED 25 FOR CEILINGS, EXITS AND VERTICAL SERVICE SPACES, AND 150 FOR WALLS.

FINISH NOTE FOR TECH CLASSROOM 8.7:

1. PATCH AND REPAIR EXISTING WOOD FLOOR WHERE WOOD FRAME STRUCTURE REMOVED
2. PROVIDE NEW WOOD FLOOR TO MATCH EXISTING WHERE EXISTING RAISED PLATFORM REMOVED
3. PATCH / REPAIR AND REFINISH WOOD FLOOR.
4. REPAIR WALL WHERE EXISTING CHALKBOARD OR WHITEBOARD REMOVED.
5. PAINT EXISTING TECTUM ROOF DECK, STEEL JOIST & NEW DUCTWORK
6. PROVIDE PLYWOOD BACKING TO 8' HEIGHT FOR MILLWORK INSTALLATION.
7. PATCH AND REPAIR TERRAZZO AT NEW DOOR OPENING.
8. PAINT ALL WALLS

FINISH NOTE FOR TECH CLASSROOM 8.5:

1. PATCH AND REPAIR EXISTING WOOD FLOOR WHERE WOOD FRAME STRUCTURE REMOVED
2. PROVIDE NEW WOOD FLOOR TO MATCH EXISTING WHERE EXISTING RAISED PLATFORM REMOVED
3. PATCH / REPAIR AND REFINISH WOOD FLOOR.
4. REPAIR WALL WHERE EXISTING CHALKBOARD OR WHITEBOARD REMOVED.
5. PAINT EXISTING TECTUM ROOF DECK, STEEL JOISTS AND NEW DUCTWORK
6. PROVIDE PLYWOOD BACKING TO 8' HEIGHT FOR MILLWORK INSTALLATION.
7. PAINT ALL WALLS

FINISH NOTE FOR TECH CLASSROOM 8.3:

1. PROVIDE NEW WOOD FLOORING TO MATCH EXISTING WHERE EXISTING RAISED PLATFORM REMOVED
2. PATCH / REPAIR AND REFINISH WOOD FLOOR.
3. REPAIR WALL WHERE EXISTING CHALKBOARD OR WHITEBOARD REMOVED.
4. PAINT EXISTING TECTUM ROOF DECK, STEEL JOISTS AND NEW DUCTWORK
5. PAINT ALL WALLS

MINIMUM 1100mm BARRIER-FREE PATH OF TRAVEL MUST BE MAINTAINED THROUGHOUT THE FLOOR AREA.

BARRIER-FREE REQUIREMENTS FOR DOORS:

- MINIMUM CLEAR WIDTH OF 860mm WHEN DOOR IS IN THE OPEN POSITION
- DOORS WITH POSITIVE LATCH SHALL HAVE LEVER HANDLE HARDWARE
- 600mm LATCH SIDE CLEARANCE REQUIRED WHEN DOOR SWINGS TOWARD APPROACH SIDE AND 300mm CLEARANCE REQUIRED WHEN DOOR SWINGS AWAY FROM APPROACH SIDE.

2 PARTIAL FIRST FLOOR PLAN - PROPOSED
SCALE - 1:50

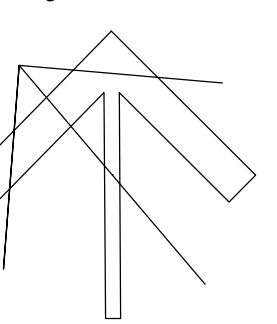
NO.	DATE	REVISION
1	24/1/24	ISSUED FOR CLIENT REVIEW
2	29/07/24	ISSUED FOR TENDER PERMIT
3	24/07/24	ISSUED FOR CLIENT REVIEW

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PROJECT NORTH



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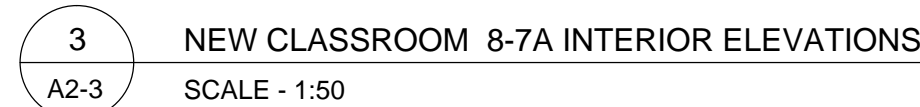


FOREST HEIGHTS C.I. TECH SHOP REVITALIZATION AND WINDOW REPLACEMENT

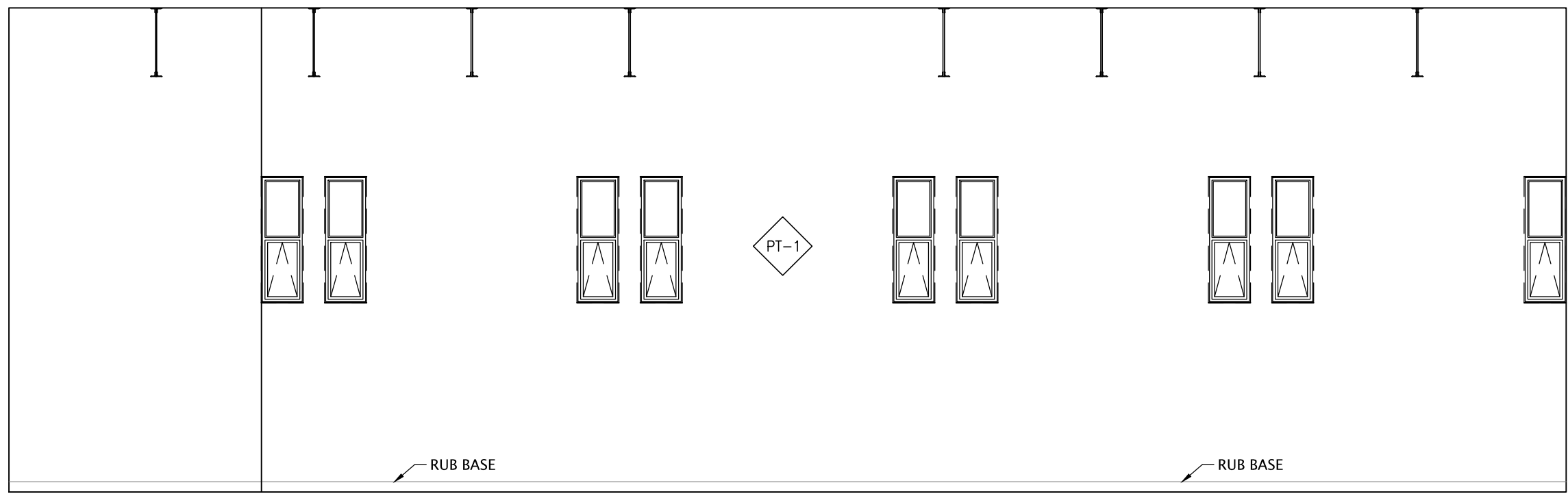
255 Fischer Hallman Rd.
Kitchener, ON N2M 4B8

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PARTIAL FIRST FLOOR PLAN TECH WING DEMOLITION & PROPOSED

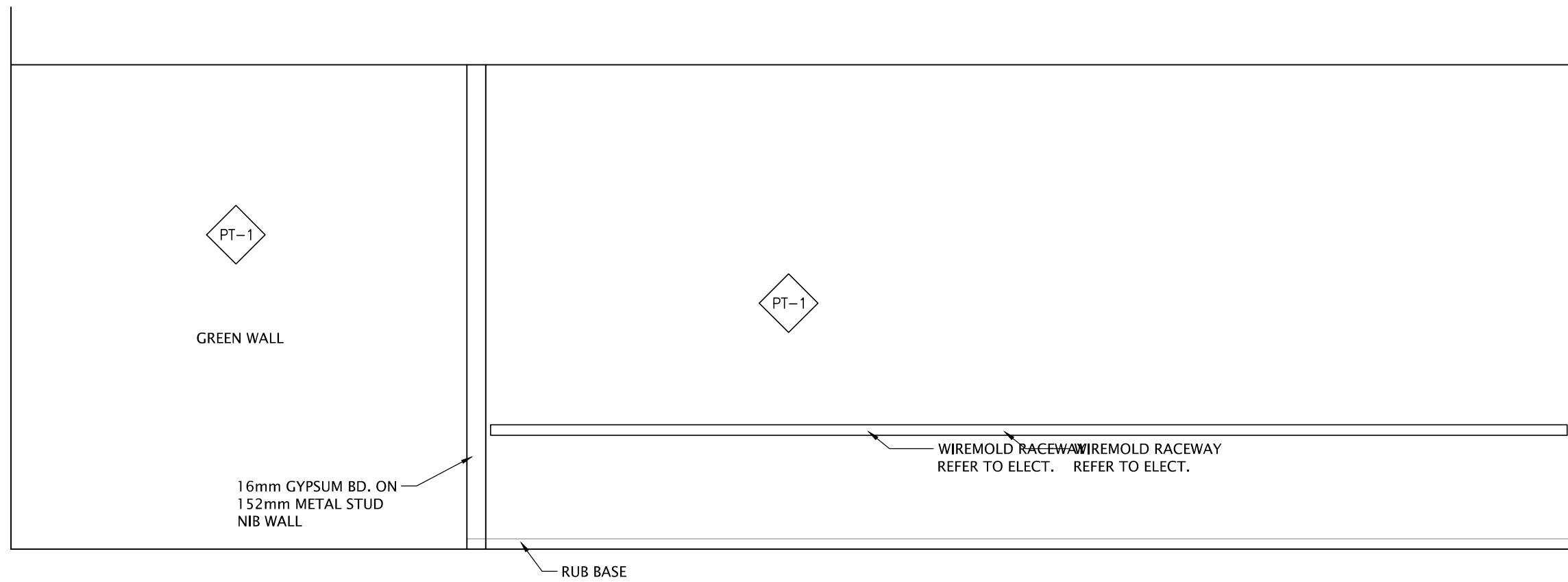
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CHECKED: K+	REVISION: 2
DATE: JAN/24	



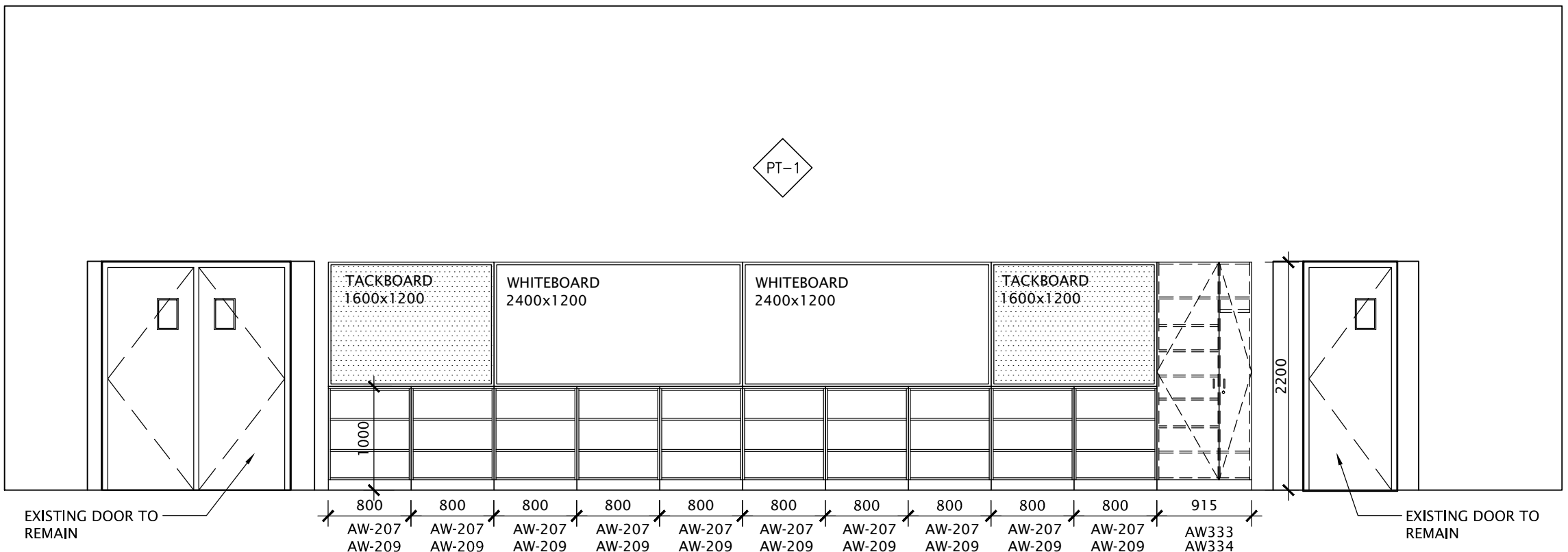
0 A23018- A2-3 INTERIOR ELEVA



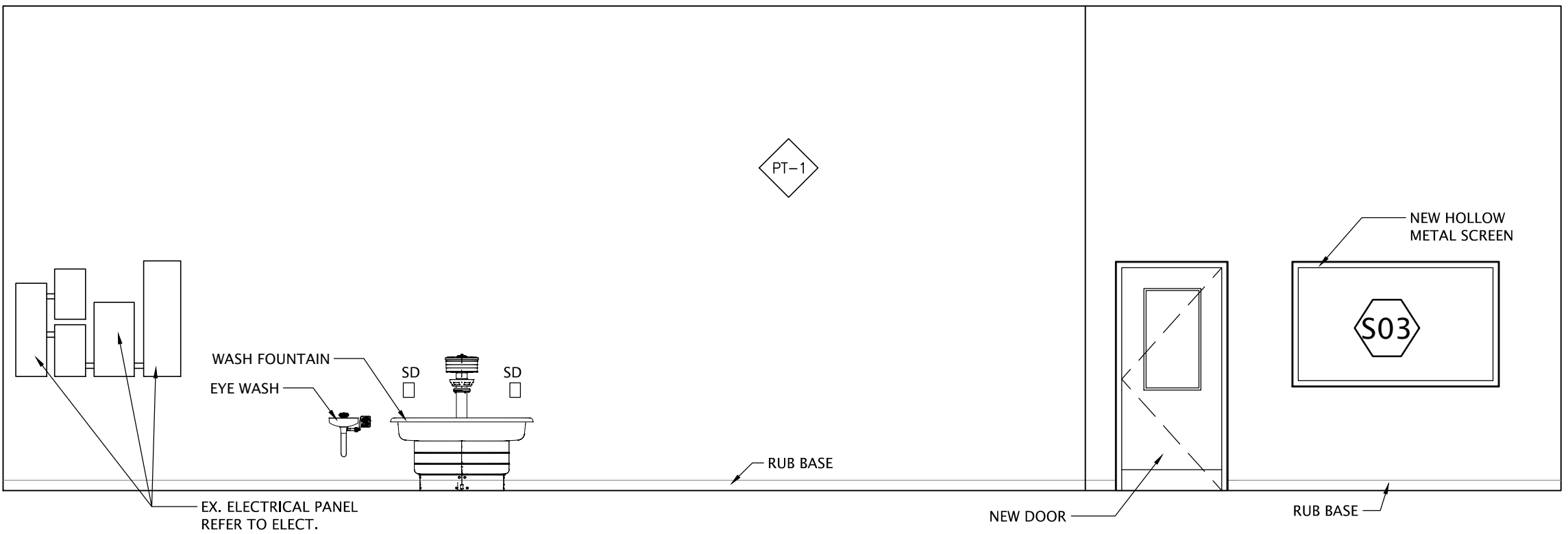
ELEVATION 1



ELEVATION 2

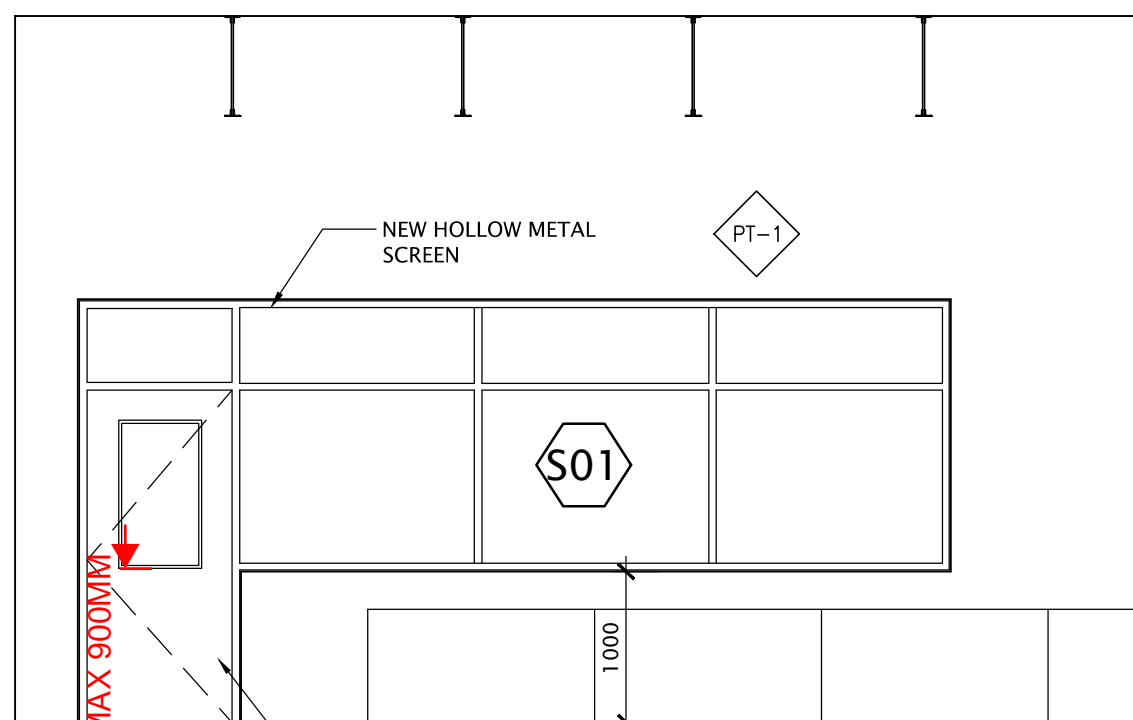


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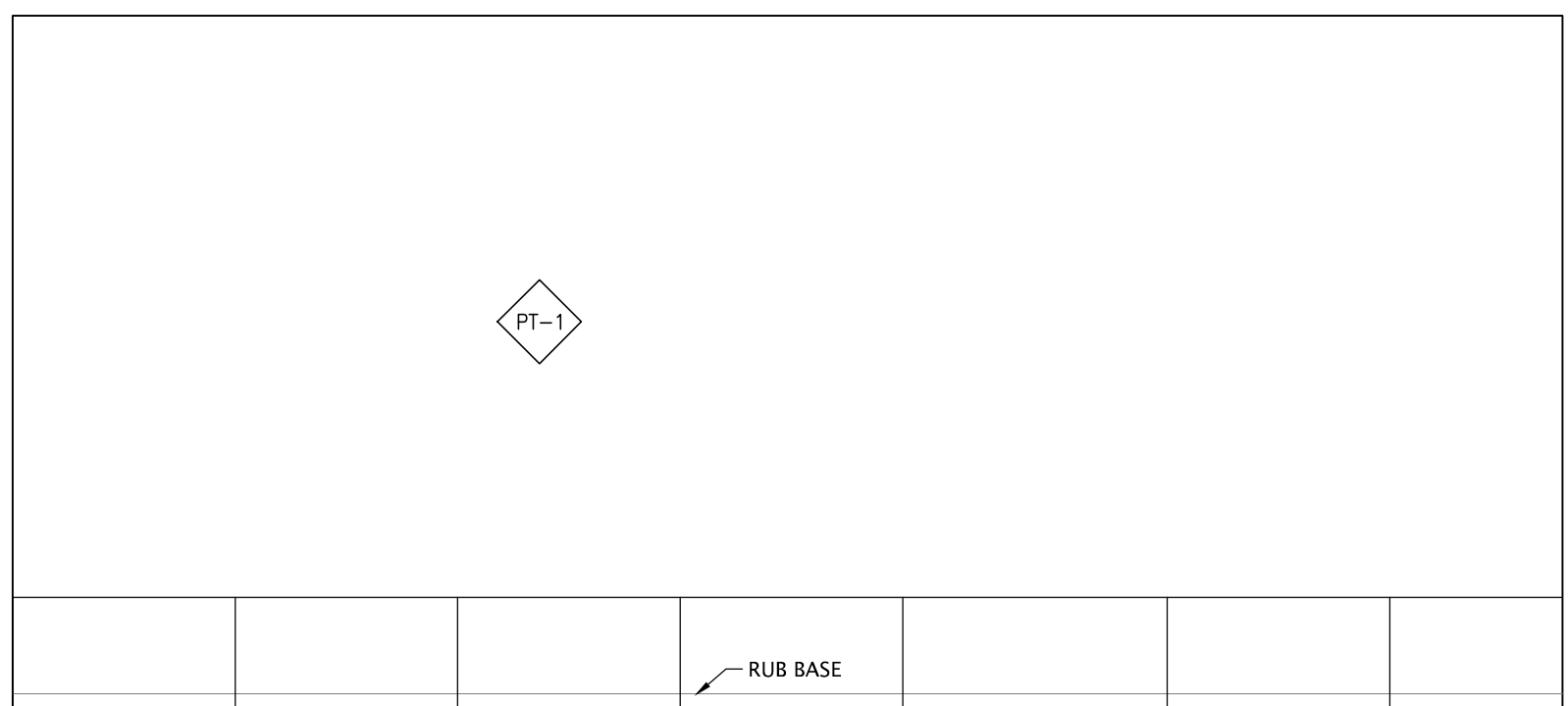


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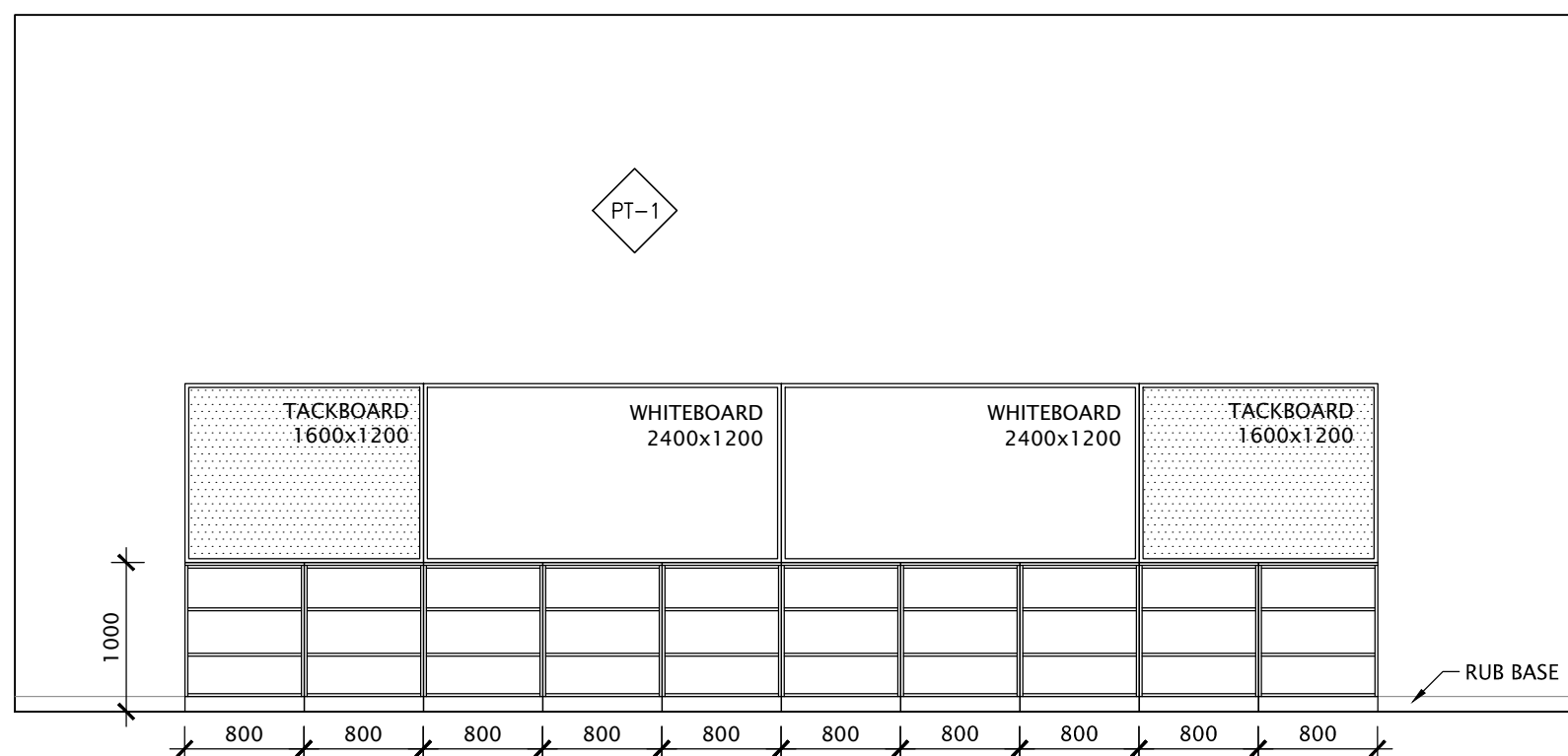
1 NEW TECH DESIGN INTERIOR ELEVATIONS - 8-5
SCALE - 1:50



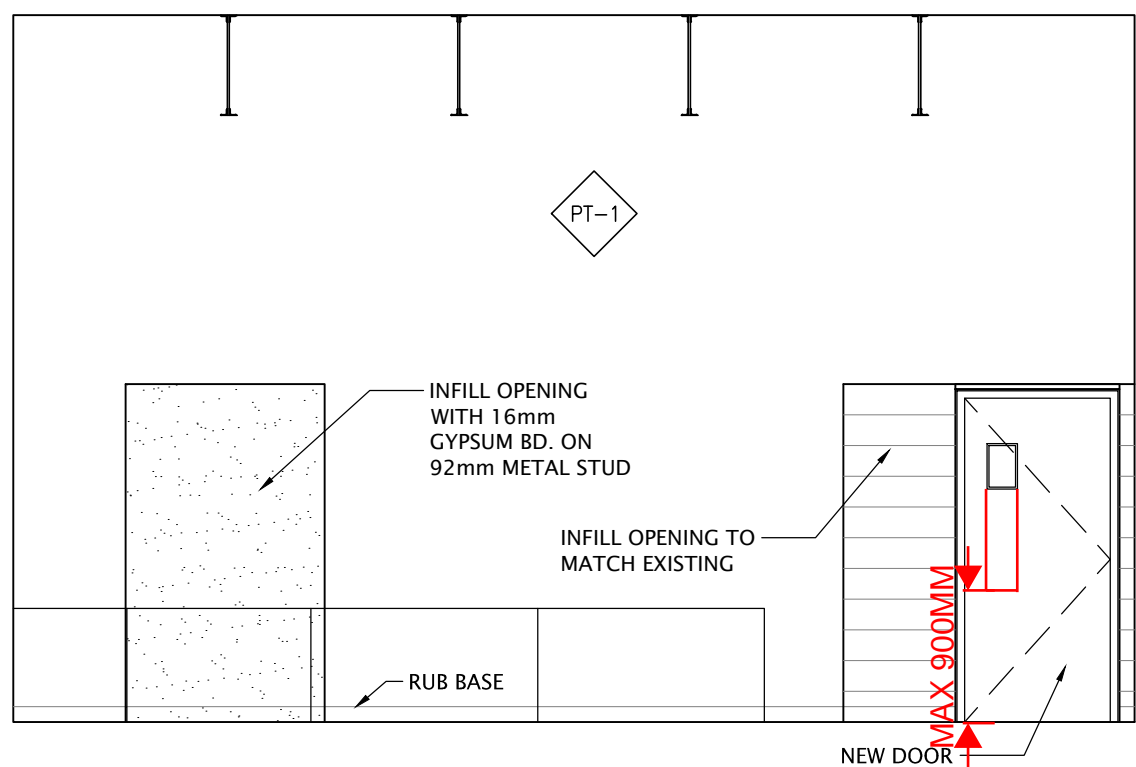
ELEVATION 1



ELEVATION 2

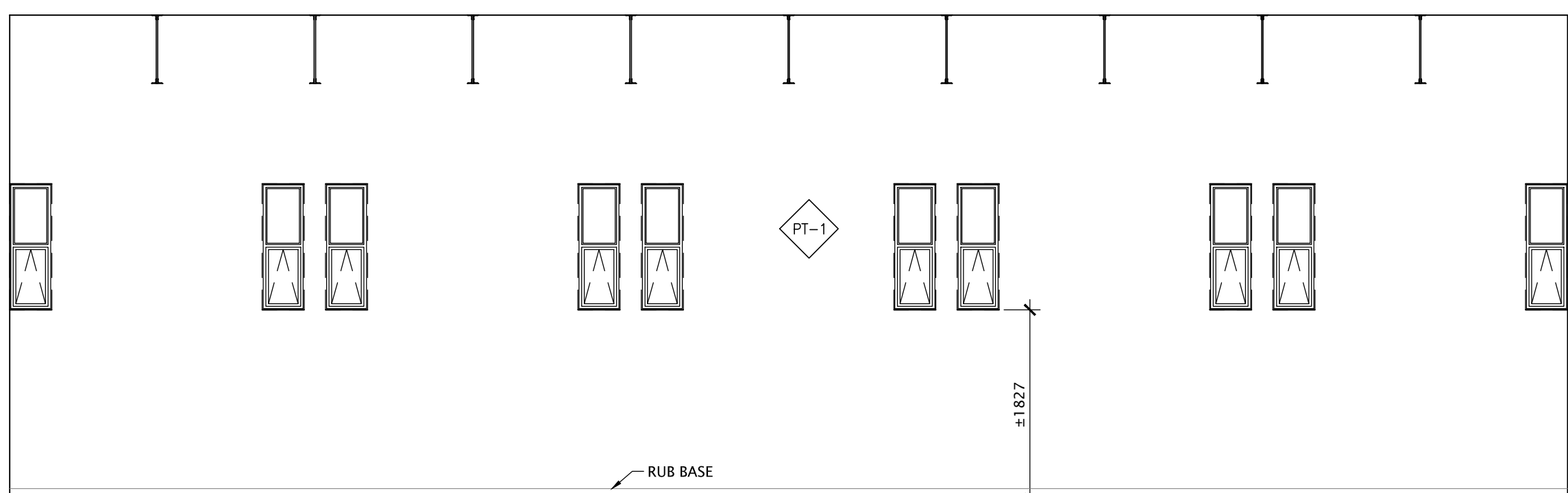


ELEVATION 3

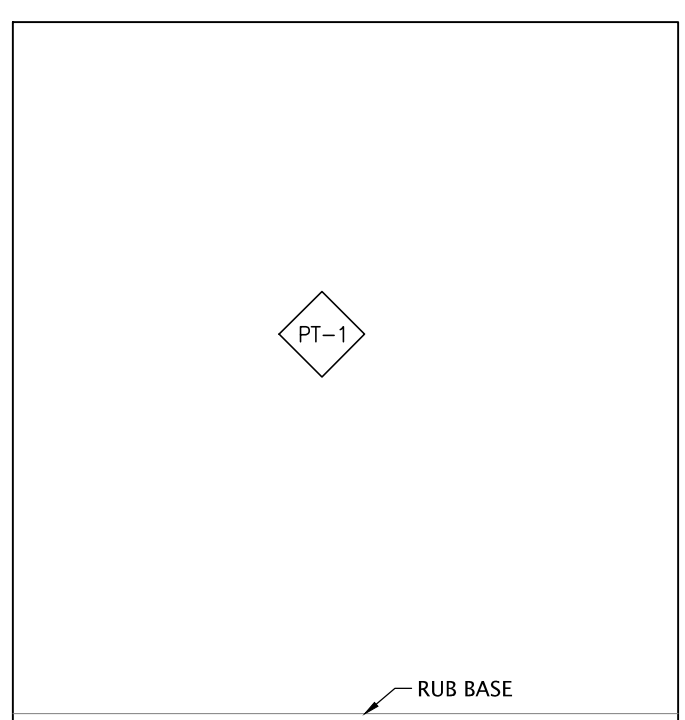


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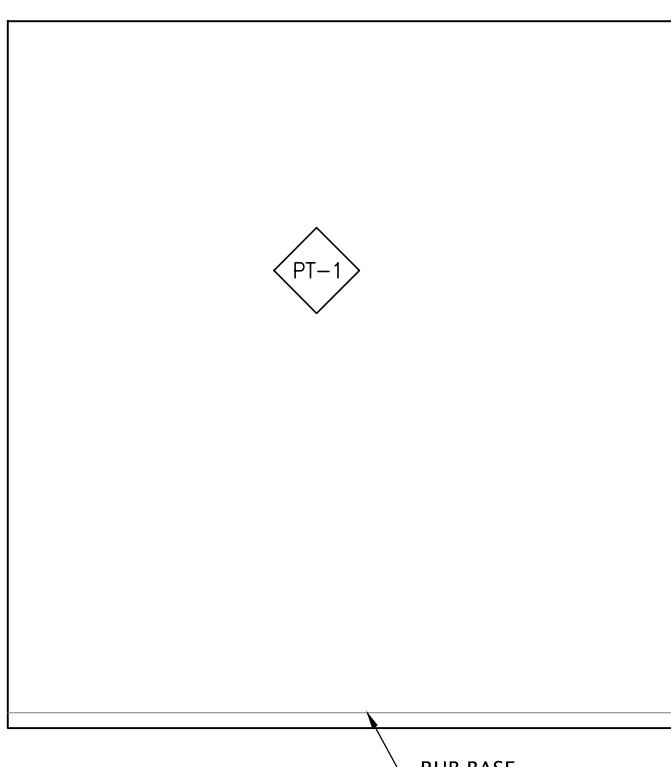
3 NEW CLASSROOM 8-7B INTERIOR ELEVATIONS
SCALE - 1:50



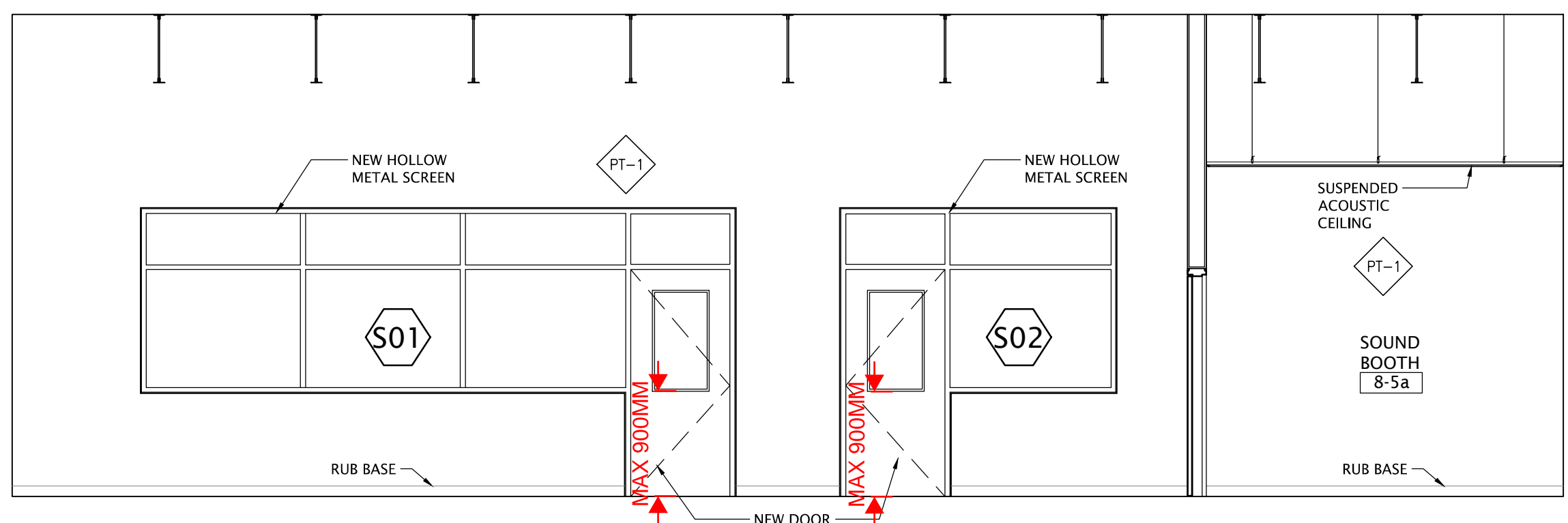
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

2 NEW GRAPHIC 8-7C INTERIOR ELEVATIONS
SCALE - 1:50

NO	DATE	REVISION
2	29/07/24	ISSUED FOR TENDER AND PERMIT
1	24/1/22	ISSUED FOR CLIENT REVIEW
0	24/07/24	ISSUED FOR CLIENT REVIEW

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- GENERAL NOTES
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 2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, AND SPECIFICATIONS.
 3. THE DESIGN LOADS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
 4. ALL DIMENSIONS, SHOWN ON THE DRAWINGS, SHALL BE CHECKED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
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 6. ALL DIMENSIONS GIVEN ARE IN METRIC.



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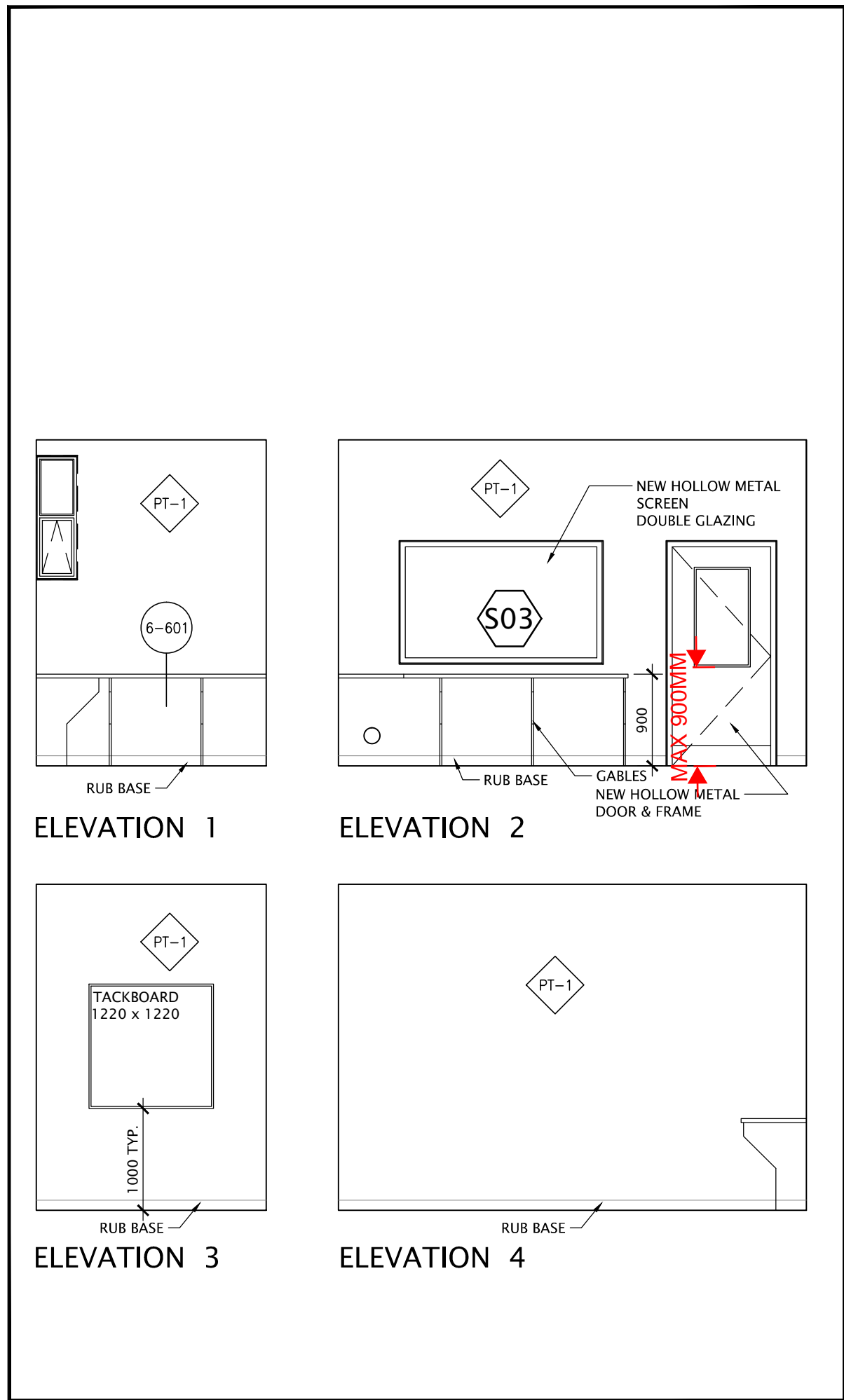
KINGSLAND + ARCHITECTS INC.
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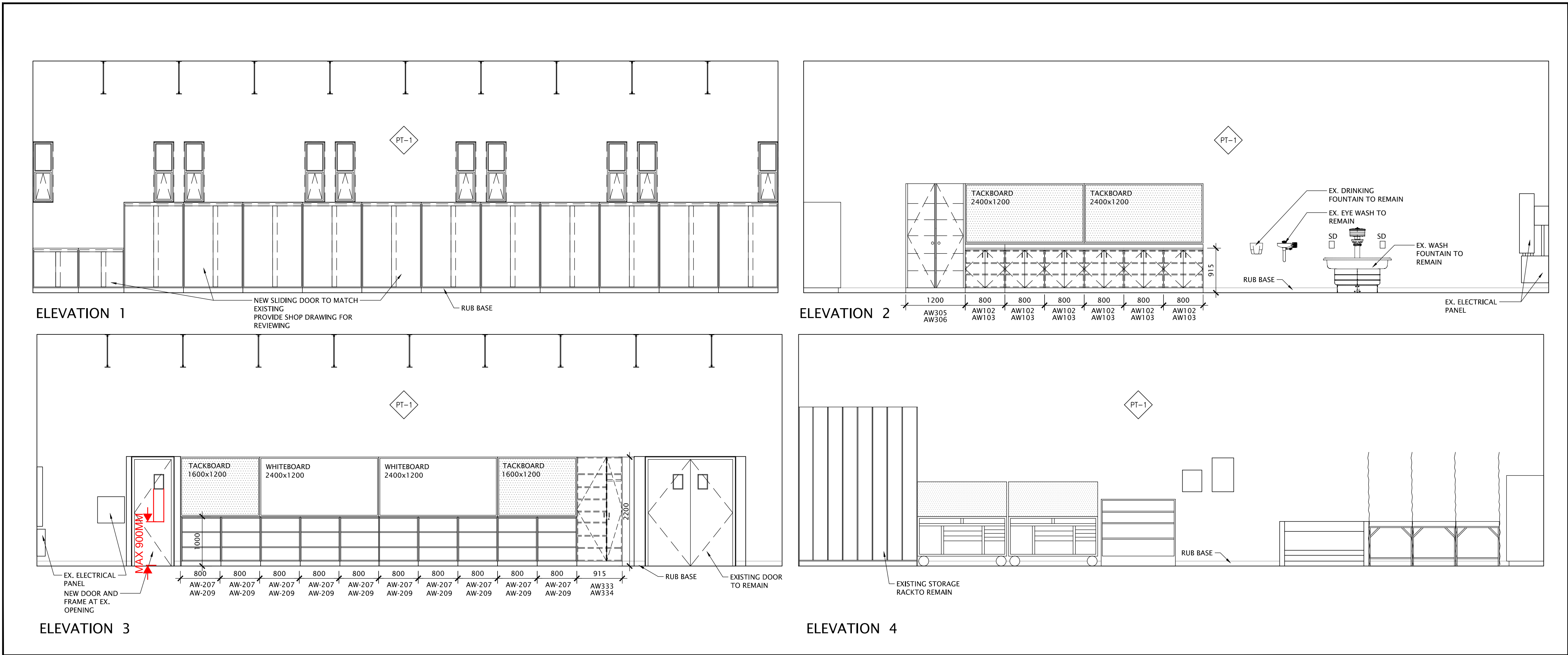
FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION
AND WINDOW REPLACEMENT
255 Fischer Hallman Rd.
Kitchener, ON N2M 4B8

DRAWING TITLE: TECH WING CLASSROOM INTERIOR ELEVATION			
PROJECT NO: A23018	SCALE: 1:50		
DRAWN: K+	DRAWING NO: A2-4	REV: 2	
CHECKED: K+			
DATE: JAN/24			

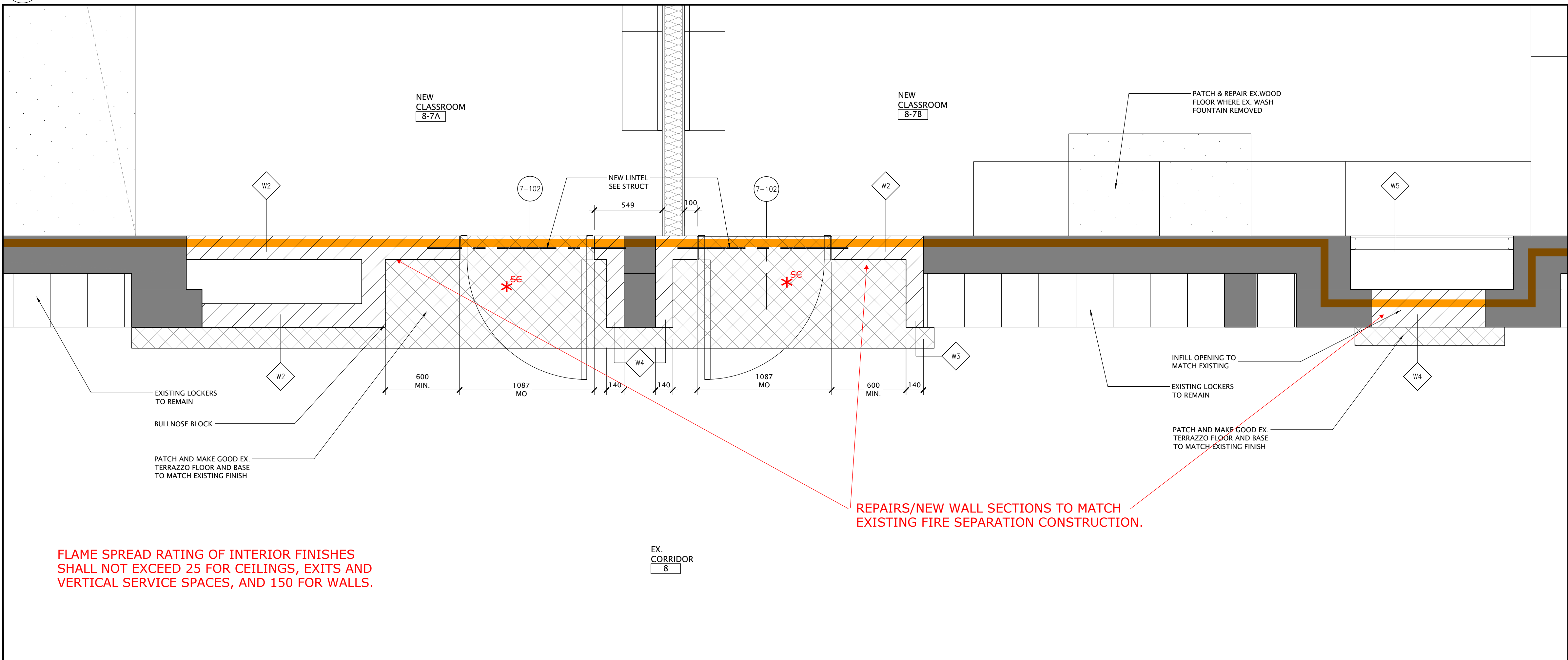
0 A23018- A2-4 INTERIOR ELEVATIONS



3 NEW SOUND BOOTH 8-5A INTERIOR ELEVATIONS
A2-5 SCALE - 1:50



1 NEW TECH DESIGNR 8-3A INTERIOR ELEVATIONS
A2-5 SCALE - 1:50



2 ENLARGEMENT AT NEW DOORS OPENING
A2-5 SCALE - 1:20

FLAME SPREAD RATING OF INTERIOR FINISHES SHALL NOT EXCEED 25 FOR CEILINGS, EXITS AND VERTICAL SERVICE SPACES, AND 150 FOR WALLS.

REPAIRS/NEW WALL SECTIONS TO MATCH EXISTING FIRE SEPARATION CONSTRUCTION.

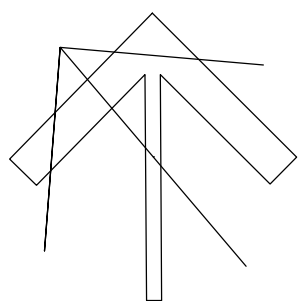
NO	DATE	REVISION
2	29/07/24	ISSUED FOR TENDER AND PERMIT
1	24/11/23	ISSUED FOR CLIENT REVIEW
0	24/07/24	ISSUED FOR CLIENT REVIEW

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PROJECT NORTH



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FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION AND WINDOW REPLACEMENT
255 Fischer Hallman Rd.
Kitchener, ON N2M 4K8

DRAWING TITLE: TECH WING CLASSROOM INTERIOR ELEVATION ENLARGEMENT AT NEW DOORS OPENING		
PROJECT NO: A23018	SCALE: 1:150	
DRAWN: K+	DRAWING NO.: A2-5	REV. 2
CHECKED: K+		
DATE: JAN/24		

4 BARRIER FREE - ADO
A2-6 SCALE - 1:50

POWER DOOR OPERATOR PUSH BUTTONS SHALL BE LOCATED NOT LESS THAN 600mm AND NOT MORE THAN 1500mm BEYOND THE DOOR SWING WHERE THE DOOR OPENS TOWARDS THE CONTROL AS PER OBC DIV B, 3.8.3.3.(17)(d).

ELEVATION 3

ELEVATION 2

ELEVATION 4

- DEMOLITION NOTES**

ALL LOOSE FURNITURE, EQUIPMENT WITHIN THE SCOPE OF WORK WILL BE REMOVED BY WRSS FORCES. ANYTHING LEFT BEHIND IS TO BE TURNED OVER TO SCHOOL BOARD AUTHORITY.

 - 1 LOOSE FURNITURE TO BE REMOVED BY THE BOARD FORCES. REMOVE FIXED FURNITURE & MILLWORK AS NOTED, AND HAND OVER TO THE BOARD. PATCH AND MAKE GOOD ALL SURFACES.
 - 2 EX. TACKBOARD TO BE REMOVED AND DISCARDED. CLEAN, PATCH & MAKE GOOD ALL SURFACES AFFECTED BY WORK.
 - 3 REMOVE EXISTING FLOOR FINISH
MAKE GOOD ALL SURFACE FOR NEW FINISH
REFER TO FINISH SCHEDULE
 - 4 EXISTING WINDOW BLINDS TO BE PROTECT OR REMOVE FOR NEW PAINT.
 - 5 REMOVE EXISTING LIGHTING, CEILING TILES AND T-BAR GRID COMPLETELY. SEE RCP DRAWING AND ELECTRICAL DWGS.
 - 6 PREPARE WALLS TO RECEIVE NEW PAINT
REFER TO FINISH SCHEDULE
 - 7 EXISTING EXPLORE RECEPTABLE / DATA TO REMAIN. REFER ELECTR. DRAWING FOR NEW WORK
 - 8 REMOVE EXISTING SINK COUNTER
CAP EX. SERVICE, REFER TO MECH. FOR NEW WORK
 - 9 REMOVE EXISTING CEILING MOUNTED TV AND BRACKET

■ NOT IN SCOPE
 — EXISTING TO BE REMOVED, SHOWN DASHED
 EX EXISTING

DURING CONSTRUCTION PROTECT ALL EXISTING SURFACES AS REQUIRED.

ANY DAMAGE AS A RESULT OF DEMOLITION TO BE REPAIRED BY GENERAL CONTRACTOR.

PATCH AND MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION. MAKE READY TO RECEIVE NEW FINISHES.

2 STAFF ROOM - NEW LAYOUT
A2-6 SCALE - 1:50

1 STAFF ROOM - DEMOLITION
A2-6 SCALE - 1:50

[illegible]

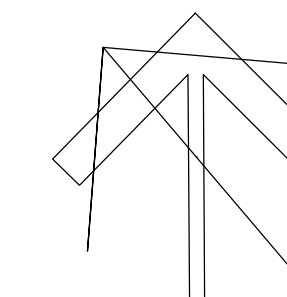
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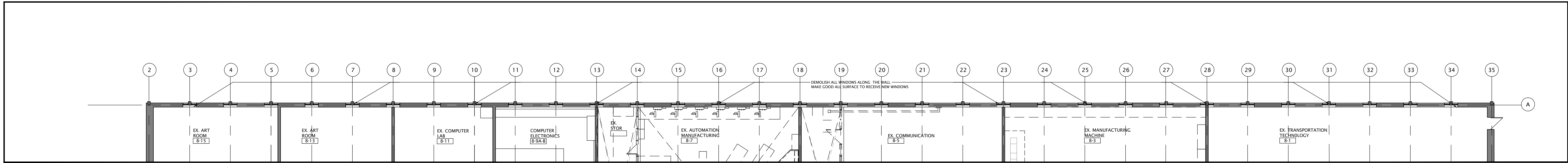


FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION
AND
WINDOW REPLACEMENT

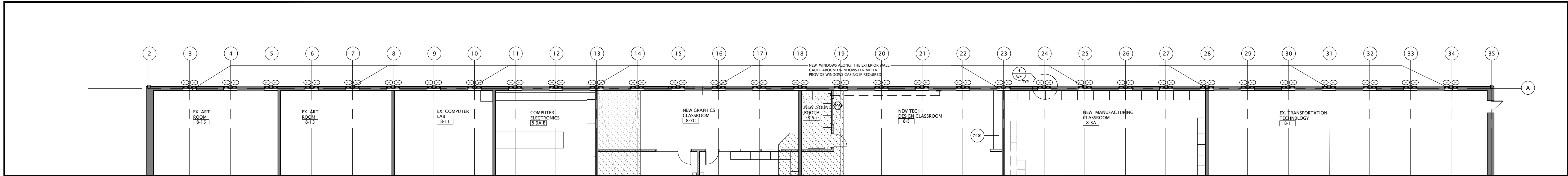
DRAWING TITLE:
STAFF ROOM - DEMO. & NEW
INTERIOR ELEVATIONS AND
BARRIER FREE ADO

PROJECT NO: A23018	SCALE: 1:50
DRAWN: K+	DRAWING NO: RE
CHECKED: K+	A2-6
DATE: JAN/24	

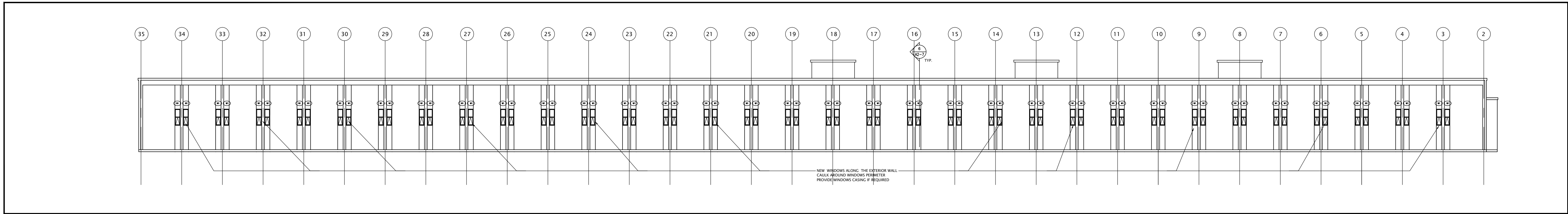
Q A23018- A2-6 INTERIOR ELE



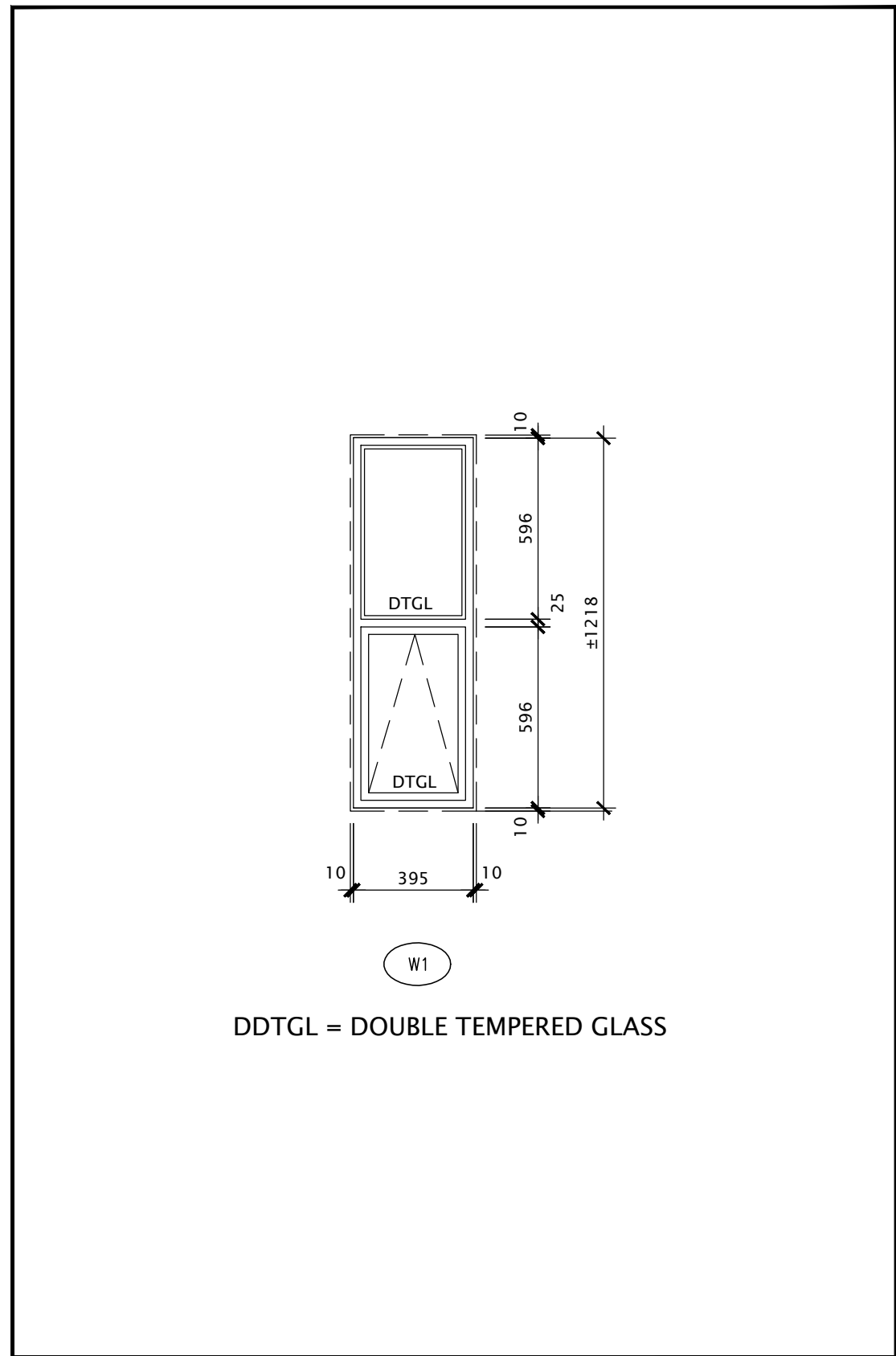
1 PARTIAL FIRST FLOOR PLAN - WINDOW DEMOLITION
A2-7 SCALE - 1:150



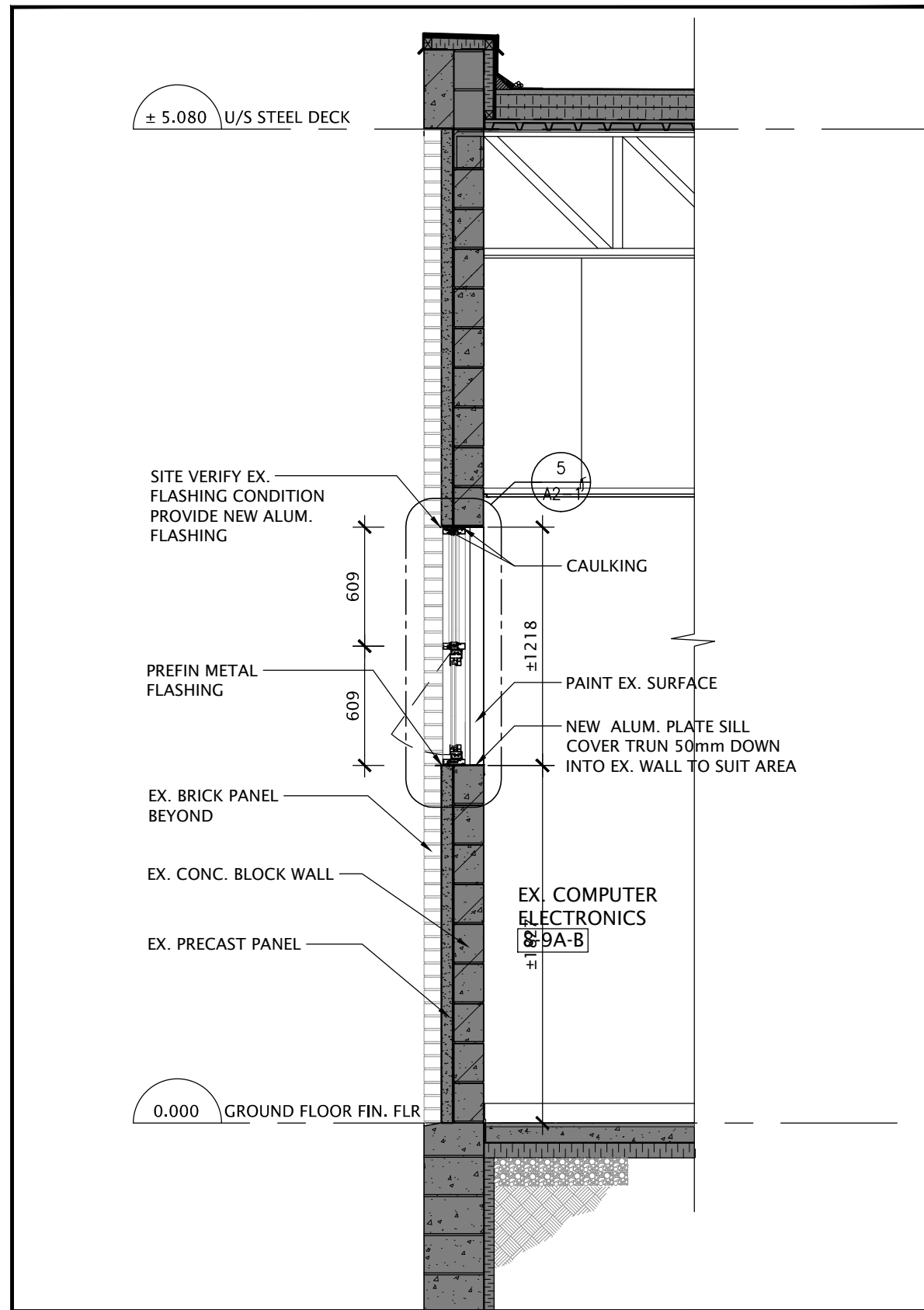
2 PARTIAL FIRST FLOOR PLAN - NEW WINDOW PROPOSED
A2-7 SCALE - 1:150



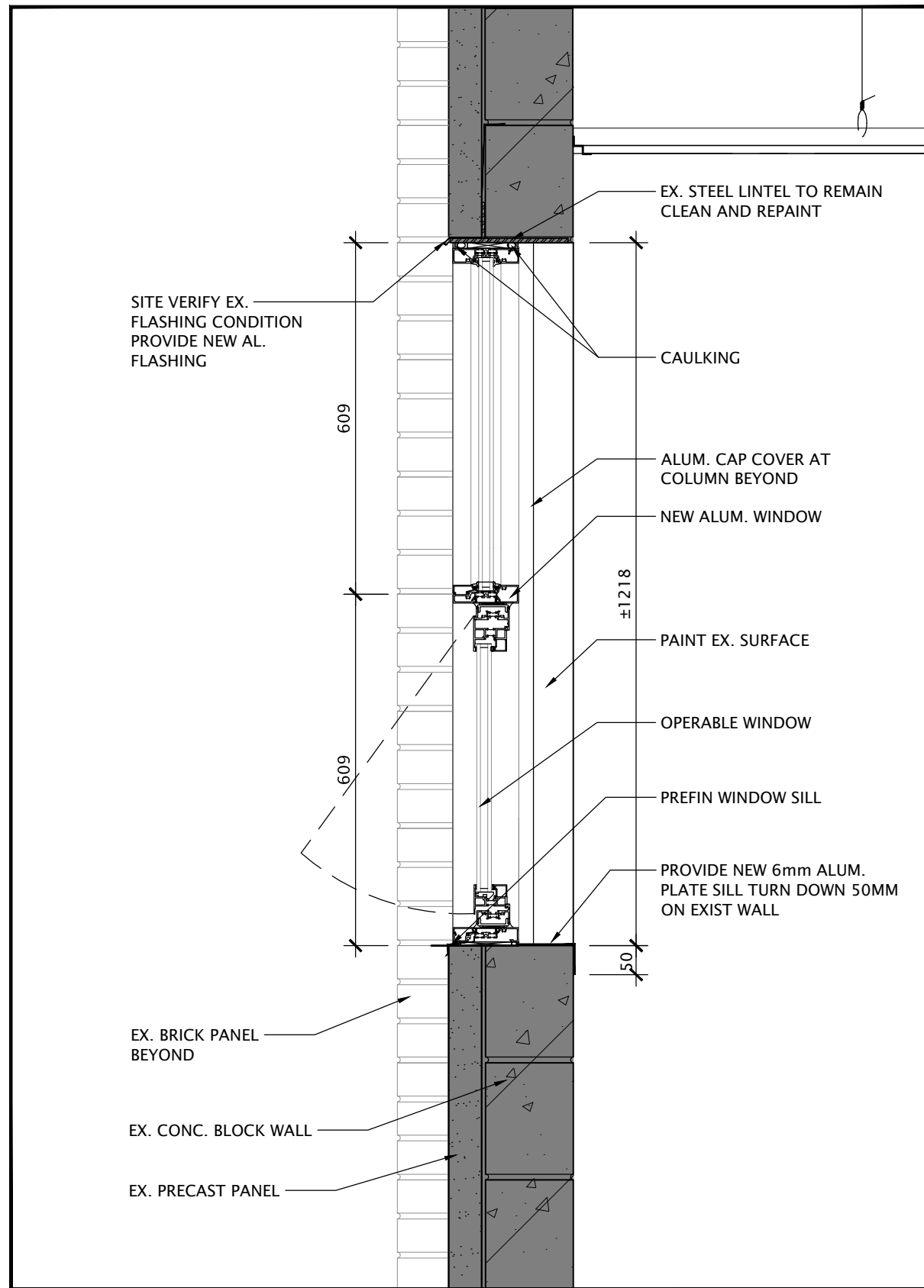
3 PARTIAL FIRST FLOOR PLAN - NEW WINDOW ELEVATION
A2-7 SCALE - 1:150



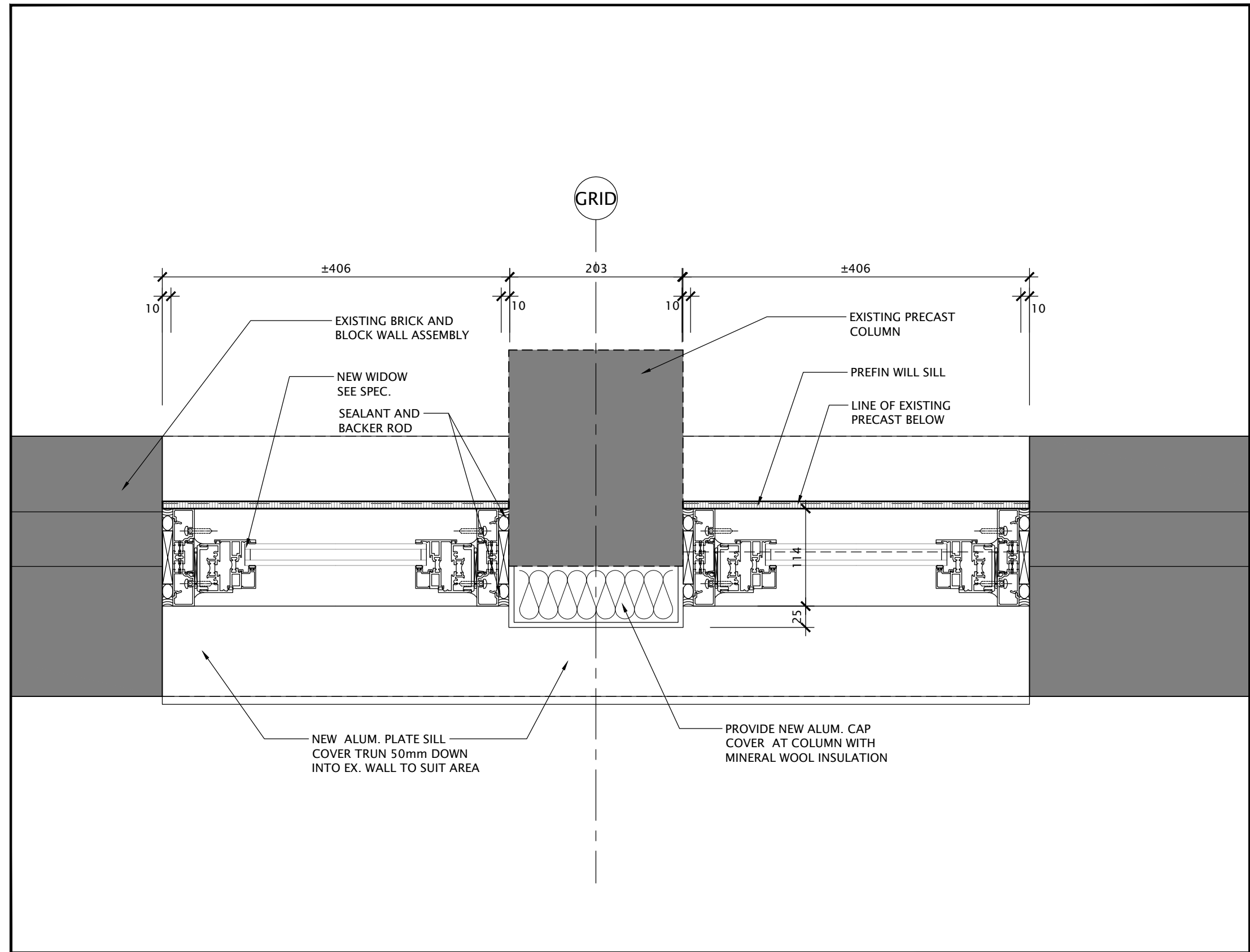
7 WINDOW DETAIL
A2-7 SCALE - 120



6 BUILDING SECTION
A2-7 SCALE - 1:30



5 WINDOW - SECTION DETAIL
A2-7 SCALE - 1:10



4 WINDOW - PLAN DETAIL
A2-7 SCALE - 1:5

NO.	DATE	REVISION
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2	29/07/24	ISSUED FOR TENDER AND PERMIT
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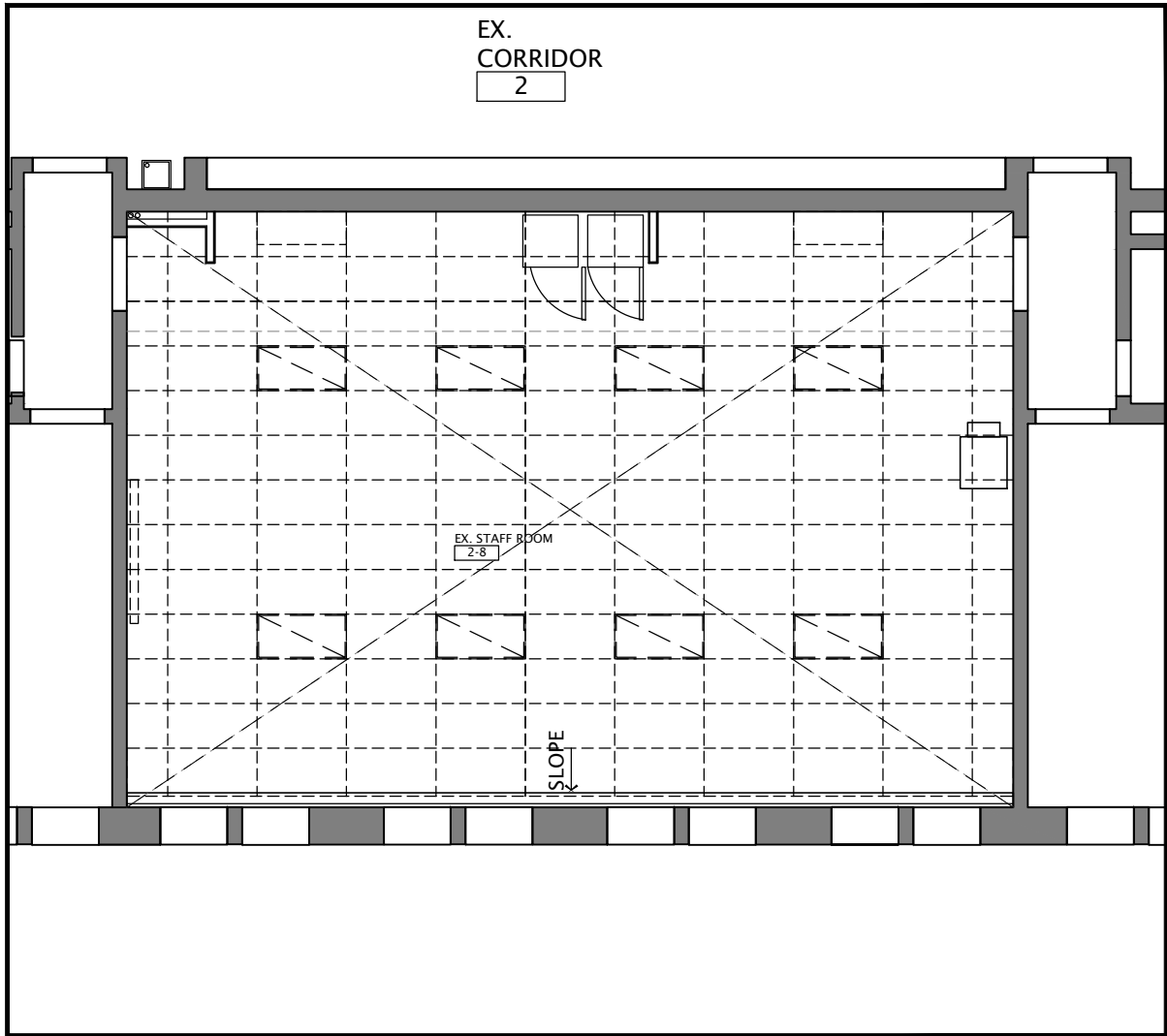
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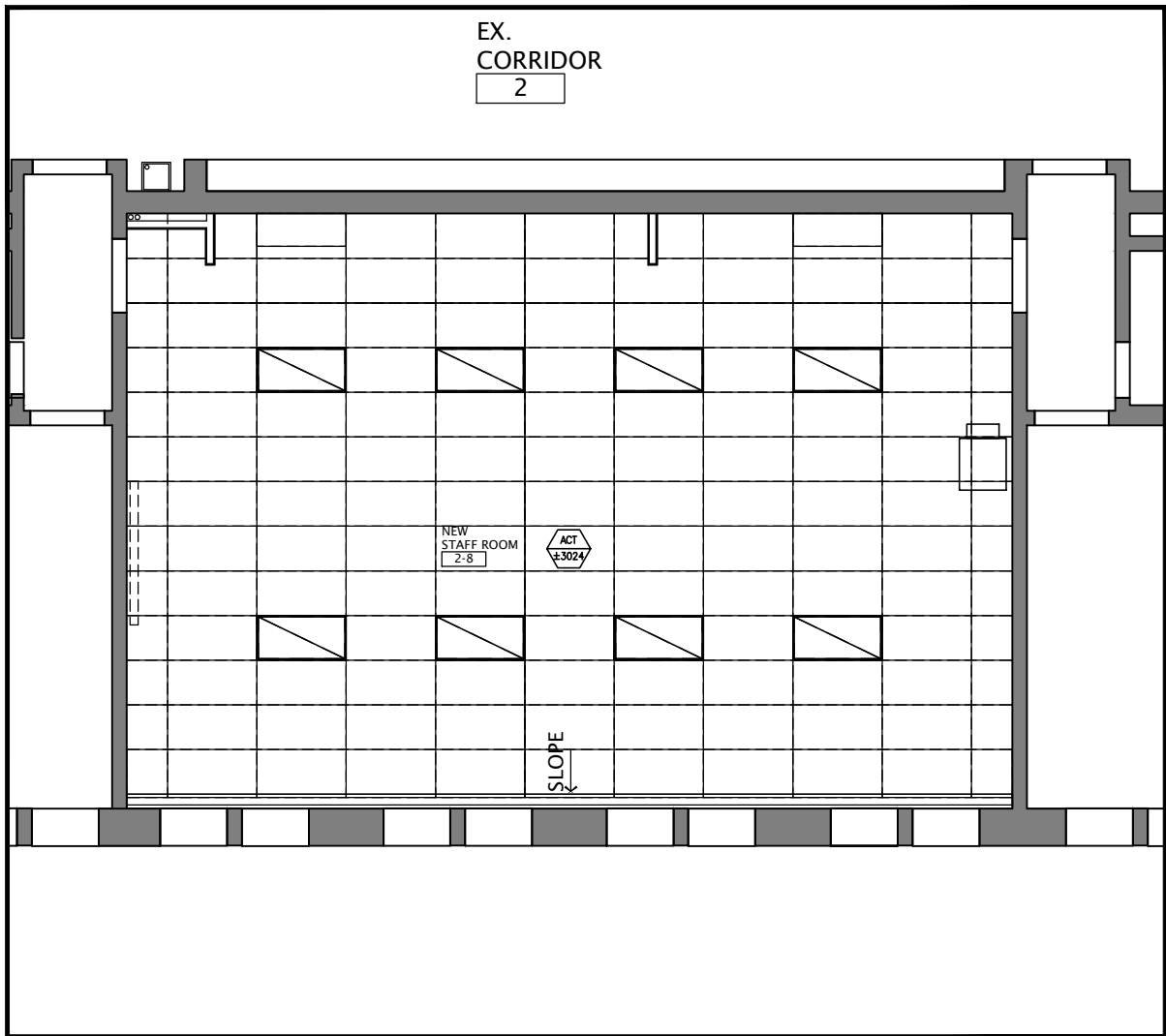


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TECH SHOP REVITALIZATION
AND WINDOW REPLACEMENT
255 Fischer Hallman Rd.
Kitchener, ON N2M 4B8

DRAWING TITLE: PARTIAL FIRST FLOOR PLAN TECH WING WINDOW REPLACEMENT AND DETAILS			
PROJECT NO: A23018	SCALE: NOTED		
DRAWN: K+	DRAWING NO.: A2-7	REV. 2	
CHECKED: K+			
DATE: JAN/24			

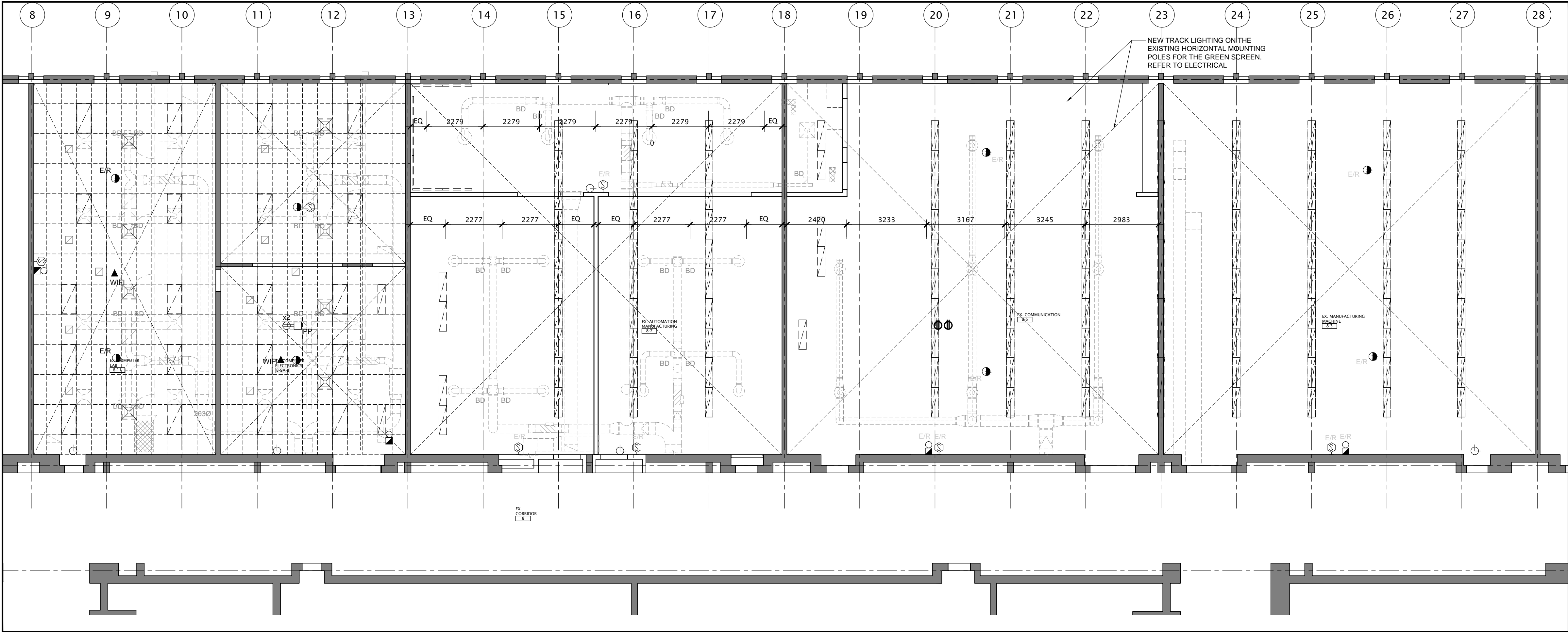


3 FIRST FLOOR CEILING FLOOR PLAN - STAFF ROOM DEMOLITION
A6-1 SCALE - 1:50

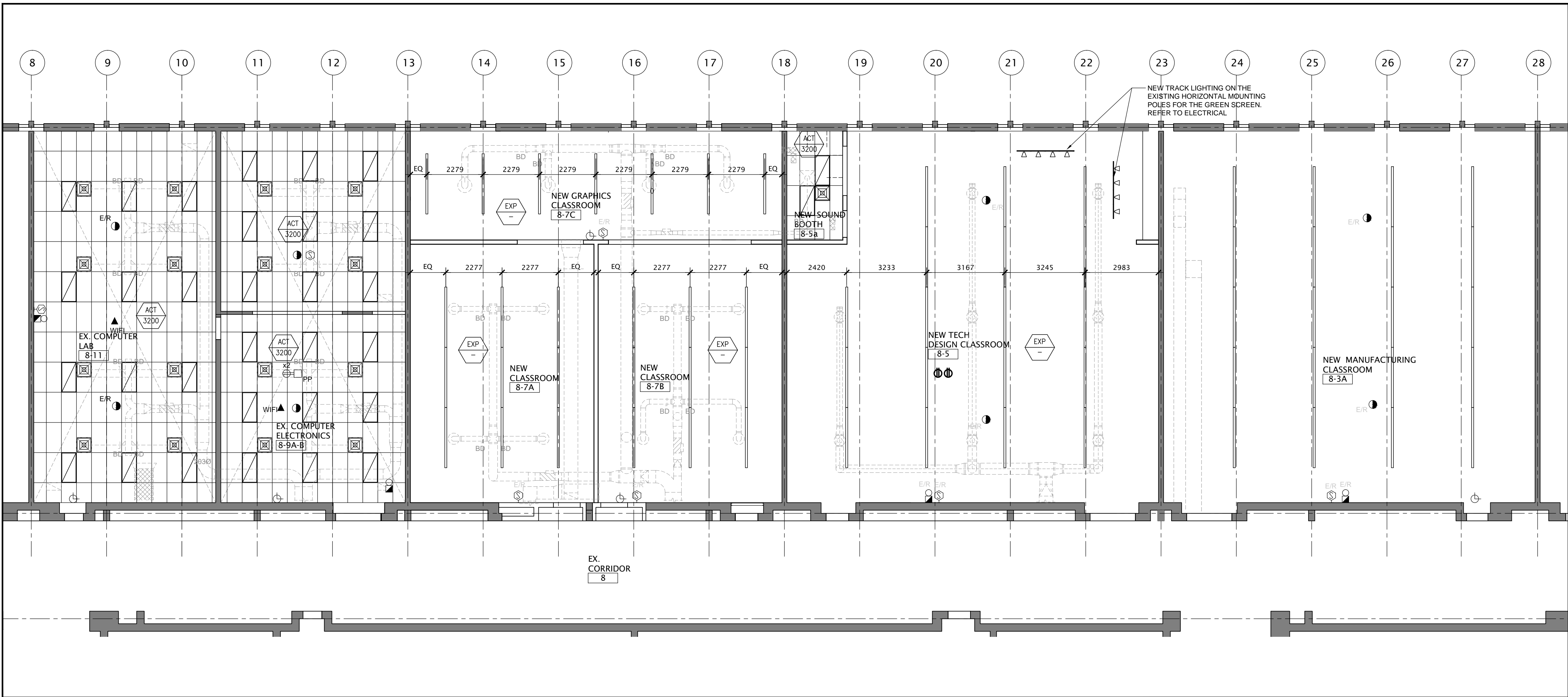


4 FIRST FLOOR CEILING FLOOR PLAN - NEW CEILING LAYOUT
A6-1 SCALE - 1:50

FLAME SPREAD RATING OF INTERIOR FINISHES
SHALL NOT EXCEED 25 FOR CEILINGS, EXITS AND
VERTICAL SERVICE SPACES, AND 150 FOR WALLS.



1 PARTIAL FIRST CEILING FLOOR PLAN - DEMOLITION
A6-1 SCALE - 1:50



2 PARTIAL FIRST FLOOR CEILING PLAN - PROPOSED
A6-1 SCALE - 1:50

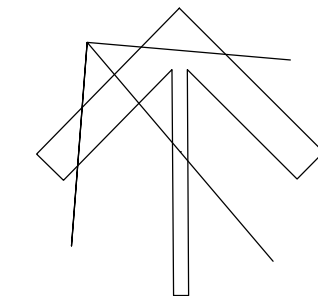
NO.	DATE	REVISION
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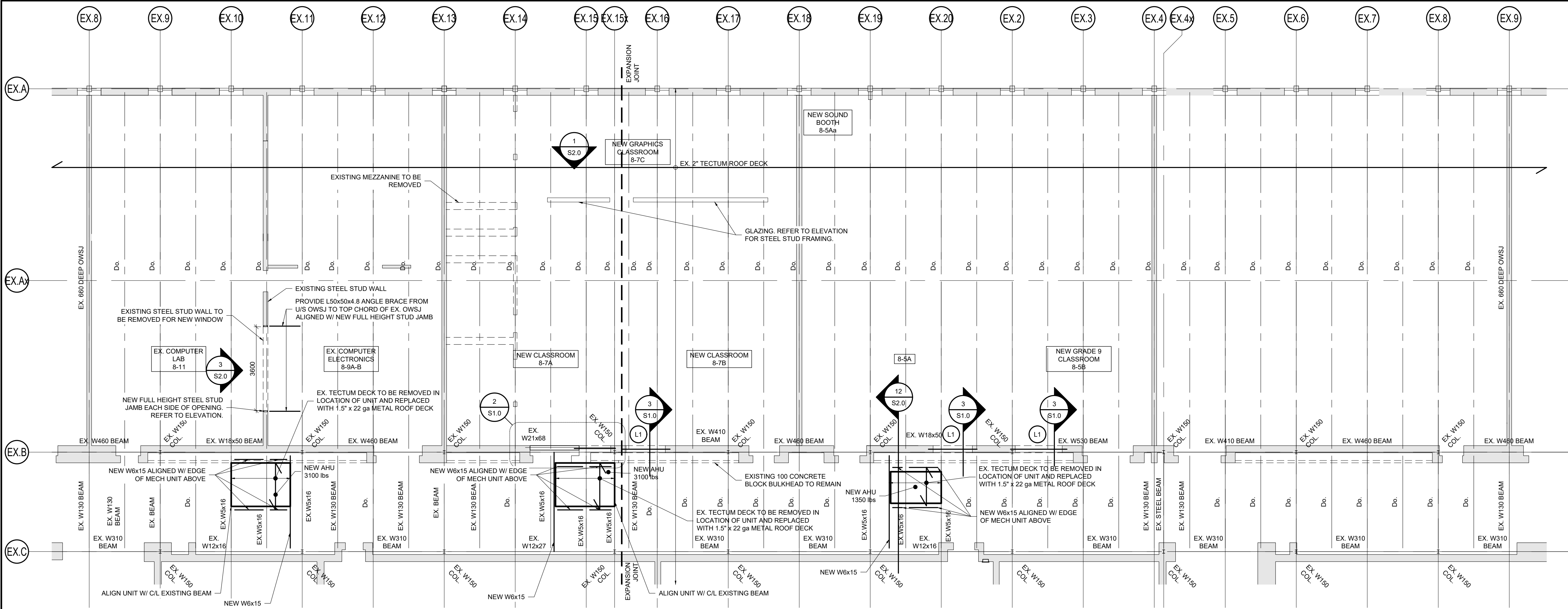
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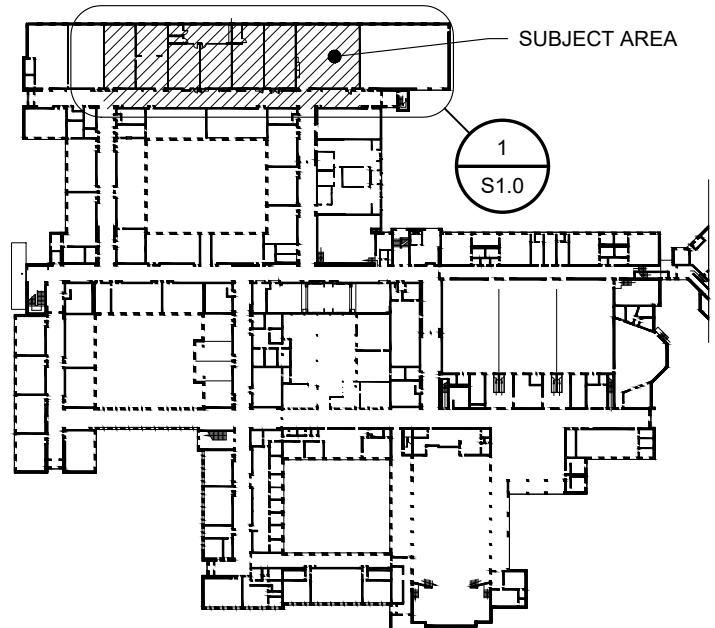
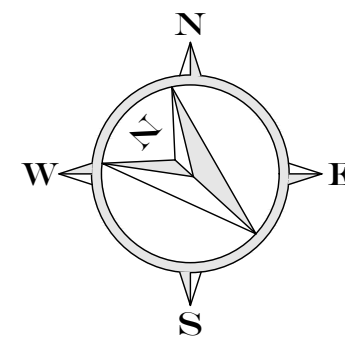
DRAWING TITLE:
PARTIAL FIRST FLOOR PLAN
TECH WING DEMOLITION
CEILING & PROPOSED

PROJECT NO: A23018	SCALE: 1:100
DRAWN: K+	DRAWING NO.: A6-1
CHECKED: K+	REV: 2
DATE: JAN/24	



WROSB TENDER
NUMBER
25-7636-RFT

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KEY PLAN

1 ROOF FRAMING PLAN
S1.0 1:100

LINTEL SCHEDULE		
LINTEL	SIZE	END BEARING
L1	L127x127x9.5 W/ (1) 3/16"Ø TAPCON x 2 1/4" LG. @ 400 O.C.	200mm EACH END

CONSTRUCTION NOTES:

A. GENERAL

- ALL WORK SHALL CONFORM TO THE ONTARIO BUILDING CODE AND ALL STANDARDS REFERENCED WITHIN, LOCAL REGULATIONS AND BYLAWS, AND THE OCCUPATIONAL HEALTH AND SAFETY ACT FOR CONSTRUCTION PROJECTS. THE LATEST VERSIONS OF STANDARDS SHALL APPLY.
- READ THESE DRAWINGS IN CONJUNCTION WITH ALL RELATED CONTRACT DOCUMENTS AND CONSULTANT DRAWINGS.
- THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS IN RELATION TO THE DRAWINGS AND NOTIFY THE ENGINEER TO ALL DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- DRAWINGS ARE NOT TO BE SCALED.
- THE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE WITH THE PARTY WHOM THE ENGINEER HAS ENTERED INTO CONTRACT. THERE ARE NO REPRESENTATIONS MADE TO ANY PARTY WITH WHOM THE ENGINEER HAS NOT ENTERED INTO CONTRACT.
- THE CONTRACTOR SHALL RETAIN AN INDEPENDENT TESTING AND INSPECTION COMPANY TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS INCLUDING COMPACTION TESTING, REINFORCING STEEL PLACEMENT, CONCRETE TESTING AND STRUCTURAL STEEL.
- THE ENGINEER SHALL BE GIVEN MINIMUM 24 HOURS NOTICE BY THE CONTRACTOR FOR ALL CONSTRUCTION REVIEWS, SITE VISITS AND REVIEWS BY THE ENGINEER OR THEIR REPRESENTATIVES ARE INTENDED FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. THE REVIEWS SHALL NOT MEAN THAT THE ENGINEER HAS SEEN ALL CONSTRUCTION PROCEDURES. REVIEW BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ERRORS AND OMISSIONS AND FOR MEETING ALL THE REQUIREMENTS OF THE CONSTRUCTION AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL MAKE ADEQUATE PROVISIONS FOR CONSTRUCTION LOADS AND TEMPORARY BRACING TO ENSURE SAFETY AND THE BUILDING IS PLUMB AND IN TRUE ALIGNMENT AT ALL PHASES OF CONSTRUCTION AS PER REG 21391. ALL BRACING MEMBERS SHOWN ON THE DRAWINGS ARE DESIGNED FOR THE FINISHED STRUCTURE AND MAY NOT BE SUFFICIENT FOR ERECTION PURPOSES. SHORING AND BRACING IS REQUIRED UNTIL PROPOSED STRUCTURE IS PROPERLY IN PLACE. SHORING AND BRACING SHALL BE DESIGNED, REVIEWED AND APPROVED BY A PROFESSIONAL ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED WITH P. ENG'S STAMP FOR OUR REVIEW PRIOR TO CONSTRUCTION. NO SUBSTITUTIONS FROM THE SPECIFIED PRODUCTS AND MATERIALS ARE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.

TESTING REQUIREMENTS

TEST	COMMENTS
STRUCTURAL STEEL CONNECTIONS	INSPECT ALL FIELD WELDS
ALL TESTING TO BE COMPLETED BY A CERTIFIED INDEPENDENT TESTING AND INSPECTION COMPANY. COPIES OF ALL REPORTS ARE TO BE FORWARDED TO THE ENGINEER FOR REVIEW.	

B. MASONRY

- MASONRY TO CONFORM TO THE LATEST VERSION OF CAN/CSA-S304.1 AND CSA A371.
- STRENGTH OF LOAD-BEARING MASONRY UNITS TO BE MINIMUM 15 MPA FOR HOLLOW UNITS BASED ON NET AREA.
- TYPE 'S' MORTAR SHALL BE USED FOR CONCRETE BLOCK. TYPE 'N' MORTAR SHALL BE USED FOR BRICK AND DECORATIVE BLOCK. GROUT STRENGTH SHALL BE 20 MPA UNLESS NOTED OTHERWISE. MORTAR AND GROUT TO CONFORM TO THE LATEST VERSION OF CSA A178.
- ALL MASONRY WALLS SHALL BE CONSTRUCTED WITH FULL MORTAR JOINTS.
- REINFORCE ALL MASONRY WITH HOT DIP GALVANIZED NO. 9 TRUSS TYPE WIRE REINFORCING @ 16" (406mm), PROVIDE FULL OVERLAP AT ALL INTERSECTIONS AND CORNERS.
- ALL MASONRY UNDER CONCENTRATED LOADS SHALL BE FILLED SOLID WITH GROUT FOR A WIDTH AND DEPTH EQUAL TO 3 TIMES THE LENGTH OF BEARING. WHERE OPEN WEB STEEL JOISTS OR BEAMS BEAR ON UNREINFORCED MASONRY WALLS PROVIDE (1) 15M VERTICAL x48" (1220mm) LONG UNDER BEARING PLATE.
- ALL MASONRY WALLS ARE TO BE ADEQUATELY BRACED DURING CONSTRUCTION UNTIL THE FLOOR AND ROOF STRUCTURES ARE IN PLACE. BRACING SHALL BE DESIGNED, REVIEWED AND APPROVED BY CONTRACTOR'S ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED WITH ENGINEERING'S STAMP FOR OUR REVIEW PRIOR TO CONSTRUCTION.

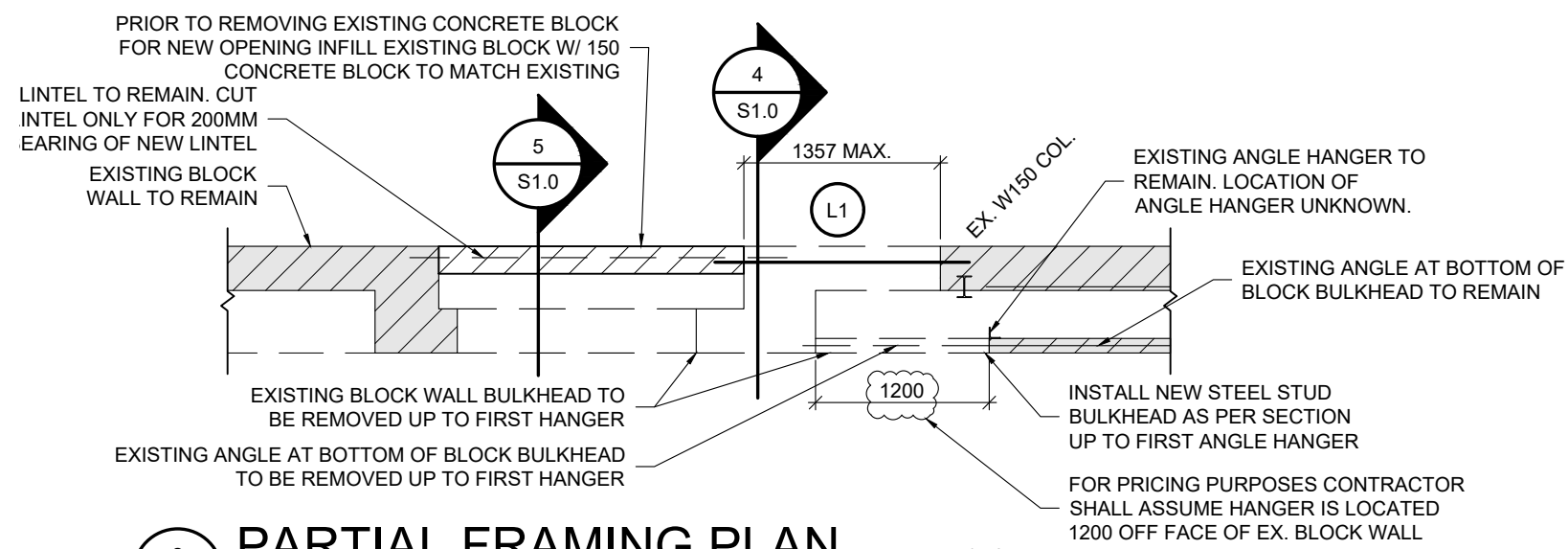
- a) GROUT ALL REINFORCED CELLS SOLID AS PER NOTE 3. REINFORCED CELLS TO BE KEPT CLEAR OF MORTAR.
- b) PROVIDE (1) FULL HEIGHT VERTICAL BAR EACH SIDE OF CONTROL JOINTS, OPENINGS, INTERSECTIONS AND ENDS OF WALLS.
- LAP ALL REINFORCING AS PER REINFORCING STEEL CHART ABOVE (MIN).

SHOP DRAWINGS REQUIREMENTS

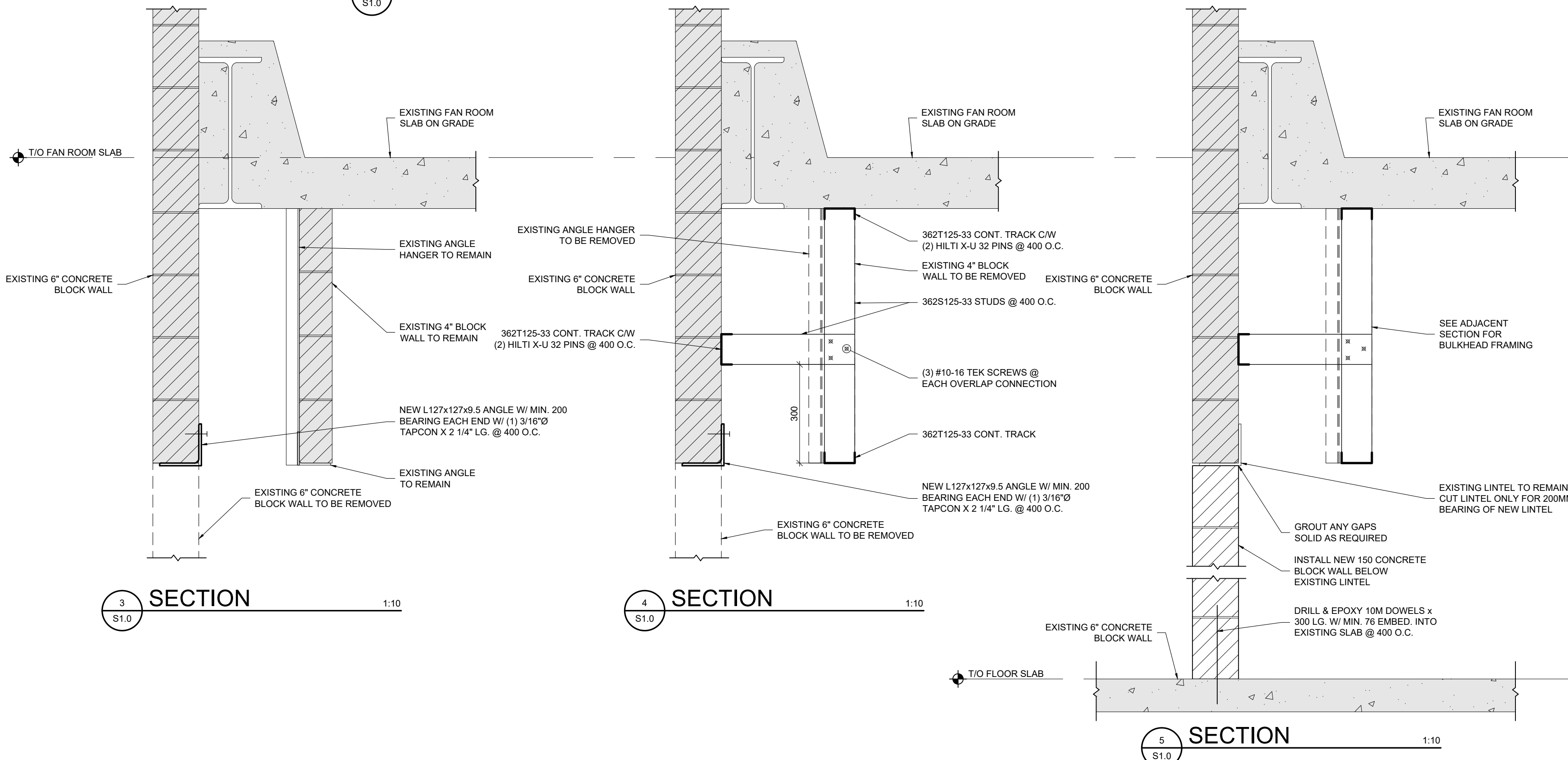
NAME	RECD	P.ENG. STAMP	MINIMUM CERTIFICATION REQUIREMENTS:
STRUCTURAL STEEL	YES	YES	LAYOUT, CONNECTIONS

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR PRIOR TO ISSUING TO THE ENGINEER FOR REVIEW.

PROVIDE STRUCTURAL STEEL SHOP DRAWINGS TO BUILDING INSPECTOR PRIOR TO INSTALLATION.



2 PARTIAL FRAMING PLAN
S1.0 1:50



3 SECTION
S1.0 1:10

4 SECTION
S1.0 1:10

5 SECTION
S1.0 1:10

KITCHENER, ONTARIO

WRDSB PROJECT NO. **A23018**

EXP PROJECT NO. **LON-24003082-A0**

M000 MECHANICAL TITLE SHEET

M100	PARTIAL FLOOR PLAN - DEMOLITION & NEW SANITARY
M101	PARTIAL FLOOR PLAN - DEMOLITION & NEW SANITARY
M200	PARTIAL FLOOR PLAN - DEMOLITION & NEW DOMESTIC
M201	PARTIAL FLOOR PLAN - DEMOLITION & NEW DOMESTIC

M300	PARTIAL FLOOR PLAN - HEATING DEMOLITION
M301	PARTIAL FLOOR PLAN - NEW HEATING

M400	PARTIAL FLOOR & ROOF PLAN - HVAC DEMOLITION
M401	PARTIAL FLOOR & ROOF PLAN - NEW HVAC
M402	SECTIONS AND DETAILS - NEW HVAC

M500 MECHANICAL SCHEDULES & DETAILS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	MOUNTING HEIGHT
PIPING		VALVES		
— EX S —	EXISTING SANITARY PIPING		CHECK VALVE	
— S —	SANITARY PIPING		CHECK VALVE & BALL DRIP	
— EX ST —	EXISTING STORM PIPING		DOUBLE CHECK VALVE ASSEMBLY BACKFLOW PREVENTER	MIN. 12" (300mm) AFF per CSA B64.10
— ST —	STORM PIPING		REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER	MIN. 12" (300mm) AFF per CSA B64.10
— — — —	EXISTING COLD WATER PIPING		BALL VALVE	
— — — —	COLD WATER PIPING		GATE VALVE	
— — — —	EXISTING DOMESTIC HOT WATER PIPING		THERMOSTATIC MIXING VALVE	
— — — —	DOMESTIC HOT WATER PIPING		GLOBE VALVE	
— — — —	EXISTING DOMESTIC HOT WATER RECIRCULATING PIPING		ELECTRICALLY SUPERVISED O.S & Y VALVE	
— — — —	DOMESTIC HOT WATER RECIRCULATING PIPING		TWO-WAY CONTROL VALVE	
— — — —	EXISTING TEMPERED WATER PIPING		RADIATION CONTROL VALVE	
— — — —	TEMPERED WATER PIPING		MIXING VALVE	
— — V — —	EXISTING VENT PIPING		BACKFLOW VALVE	
— — V — —	VENT PIPING		PRESSURE REDUCING VALVE	
— EX SP —	EXISTING SPRINKLER PIPING		CIRCUIT BALANCE VALVE	
— SP —	SPRINKLER PIPING		THREE-WAY CONTROL VALVE	
— EX F —	EXISTING FIRE PROTECTION PIPING		TEMPERATURE & PRESSURE RELIEF VALVE	
— F —	FIRE PROTECTION PIPING		AUTOMATIC AIR VENT	
— EX G —	EXISTING GAS PIPING		GAS COCK (SHUT OFF VALVE)	
— G —	GAS PIPING		GAS METER	
— EX STM —	EXISTING STEAM PIPING		FLOW SWITCH	
— STM —	STEAM PIPING		DOMESTIC WATER METER	
— EX C —	EXISTING CONDENSATE PIPING		IN-LINE PUMP	
— — C — —	CONDENSATE PIPING		STRAINER	
— EX D —	EXISTING DRAIN PIPING		UNION	
— D —	DRAIN PIPING		THERMOMETER	
— EX HS —	EXISTING HEATING SUPPLY PIPING		PRESSURE GAUGE	
— HS —	HEATING SUPPLY PIPING		PRESSURE AND TEMPERATURE GAUGE	
— EX HR —	EXISTING HEATING RETURN PIPING		FROST PROOF WALL HYDRANT	
— — HR —	HEATING RETURN PIPING		HOSE BIBB	
— EX HPS —	EXISTING HEAT PUMP SUPPLY PIPING	CLEAN OUTS AND DRAINS		
— HPS —	HEAT PUMP SUPPLY PIPING		FLEXIBLE CONNECTION	
— — EX HPR — —	EXISTING HEAT PUMP RETURN PIPING		CLEAN OUT (FLOOR MOUNTED)	
— — HPR — —	HEAT PUMP RETURN PIPING		CLEAN OUT (CEILING MOUNTED)	
— EX GLY HS —	EXISTING GLYCOL HEATING SUPPLY PIPING		FLOOR DRAIN	
— GLY HS —	GLYCOL HEATING SUPPLY PIPING		HUB DRAIN	
— EX GLY HR —	EXISTING GLYCOL HEATING RETURN PIPING		FUNNEL FLOOR DRAIN	
— — GLY HR —	GLYCOL HEATING RETURN PIPING		FLOOR DRAIN	
— EX LIQ —	EXISTING LIQUID REFRIGERATION LINE		HUB DRAIN	
— LIQ —	LIQUID REFRIGERATION LINE		FUNNEL FLOOR DRAIN	
— EX SUC —	EXISTING SUCTION REFRIGERATION LINE		ROOF DRAIN	
— SUC —	SUCTION REFRIGERATION LINE	SPRINKLER		
— EX CHWS —	EXISTING CHILLED WATER SUPPLY		UPRIGHT SPRINKLER	
— CHWS —	CHILLED WATER SUPPLY		PENDENT SPRINKLER	
— — EX.CHWR — —	CHILLED WATER RETURN		SEMI RECESSED SPRINKLER	
— — CHWR — —	CHILLED WATER RETURN		SIDEWALL SPRINKLER	
/ /	INDICATES PIPING BELOW FLOOR		EXTENDED COVERAGE SIDEWALL SPRINKLER	
— OXY —	OXYGEN PIPING		CONCEALED SPRINKLER	
— ACET —	ACETYLENE PIPING	HVAC		
LEGEND NOTES: 1. THIS IS A STANDARD LEGEND. ALL SYMBOLS MAY NOT NECESSARILY BE USED ON DRAWINGS. 2. STANDARD MOUNTING HEIGHTS SHOWN ON LEGEND SHALL BE USED, UNLESS NOTED OTHERWISE. ALL TRADES TO COORDINATE THESE HEIGHTS PRIOR TO INSTALLATION.		— — — — FD	FIRE DAMPER	
		— — — — CSFD	COMBINATION SMOKE / FIRE DAMPER	
			MOTORIZED DAMPER	
		— — — — BD	BALANCING DAMPER	
		— — — — BDD	BACK DRAFT DAMPER	
		— — — — SPD	SPLITTER DAMPER	
			THERMOSTAT	48" (1200mm) AFF per 3.8.1.5, O.B.C
			HUMIDISTAT	48" (1200mm) AFF per 3.8.1.5, O.B.C
			SENSOR	48" (1200mm) AFF per 3.8.1.5, O.B.C
			SENSOR	
			FAN SPEED CONTROLLER	48" (1200mm) AFF per 3.8.1.5, O.B.C
			NEW CONNECTION TO EXIST. PIPES/HVAC	
FIRE PROTECTION				
		FHC	FIRE HOSE CABINET	
		FEX C	FIRE EXTINGUISHER CABINET	
		F EX	FIRE EXTINGUISHER	40 lbs (18 kg) OR LESS, NOT MORE THAN 60" (1500mm) AFF AS PER 6.2.4, O.F.C. GREATER TO 40 lbs (18 kg) NOT MORE THAN 44" (1100mm) AFF AS PER 6.2.4, O.F.C.
			FIRE DEPARTMENT PUMPER CONNECTION	NOT LESS THAN 12" (300mm) AND NOT MORE THAN 36" (900mm) ABOVE GROUND LEVEL PER 3.2.5.16, O.B.C.

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3. THE DESIGN LOADS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
4. ALL DIMENSIONS, SHOWN ON THE DRAWINGS, SHALL BE CHECKED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
5. THE STABILITY OF THE STRUCTURAL FRAME IS DEPENDENT ON THE FULL ATTACHMENT OF ALL STRUCTURAL COMPONENTS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING DURING CONSTRUCTION.
6. ALL DIMENSIONS GIVEN ARE IN METRIC.



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DRAWING TITLE:
MECHANICAL

PROJECT NC

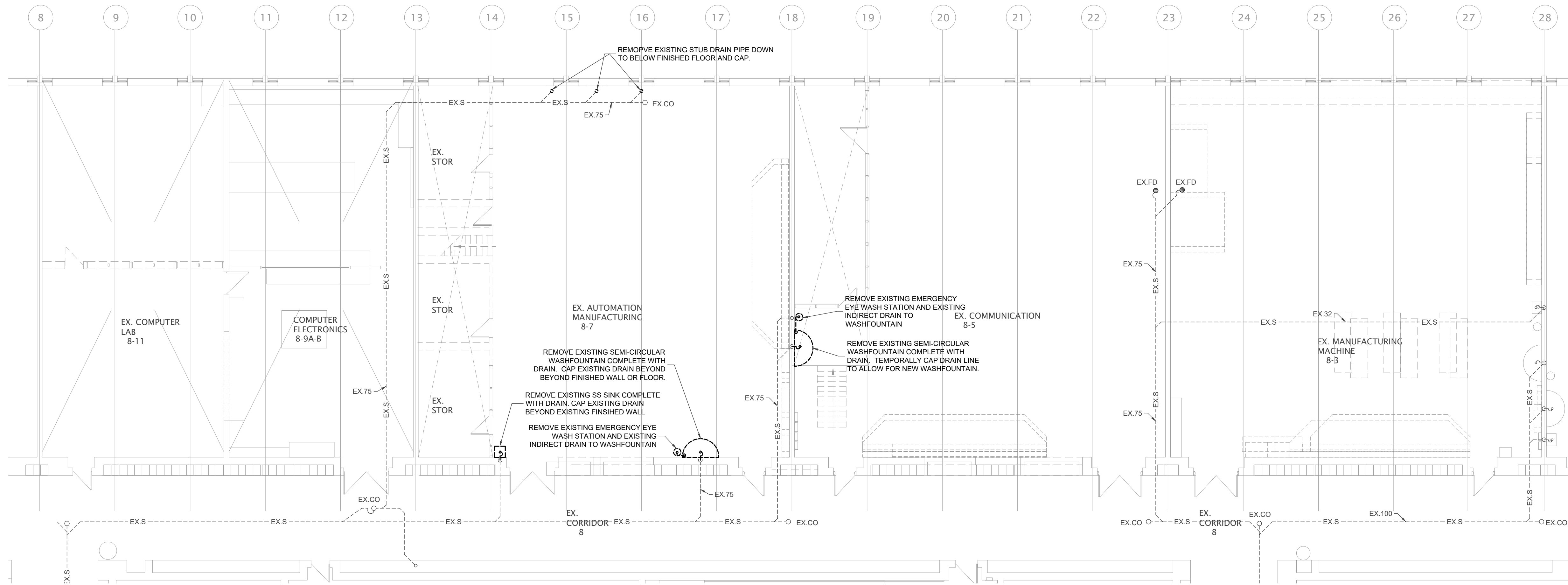
A23018

DRAW

CHECKED

DATE: JAN. 30, 2025

M000

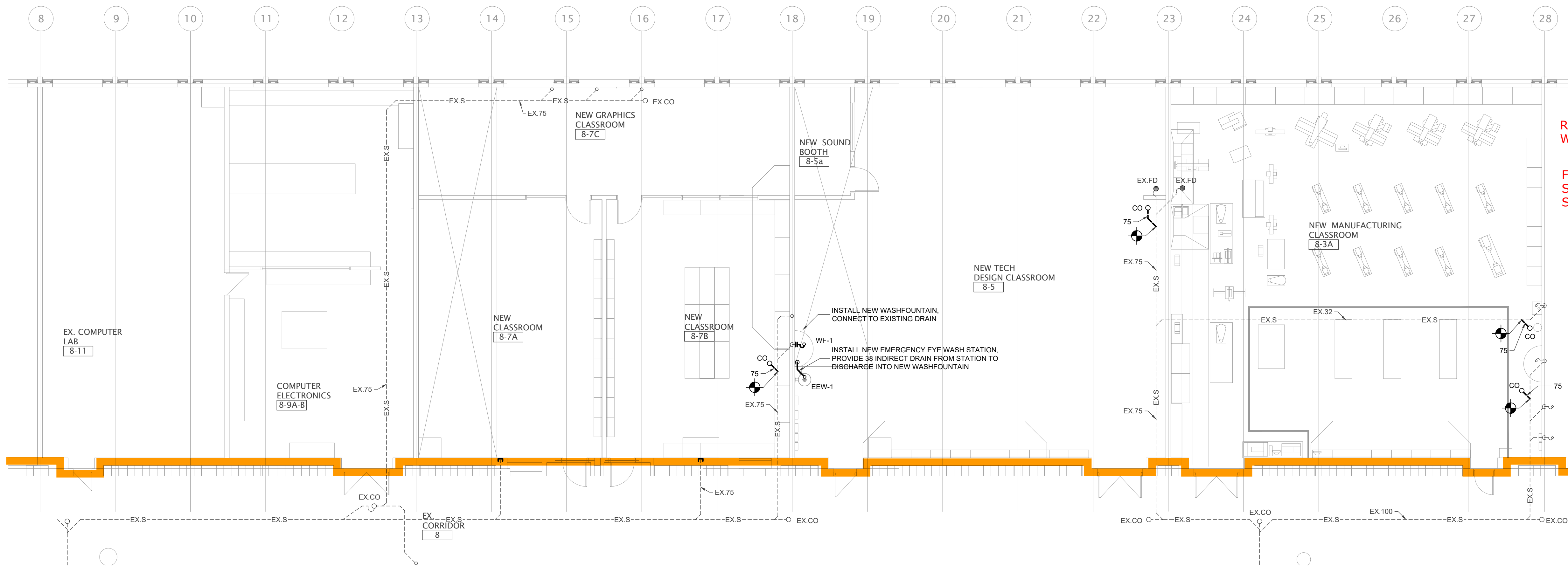


PARTIAL FLOOR PLAN - SANITARY DEMOLITION

SCALE - 1:100



INSTALL CLEANOUT AT START OF NEW PLUMBING TO SEPARATE FROM EXISTING FOR TESTING PURPOSES.



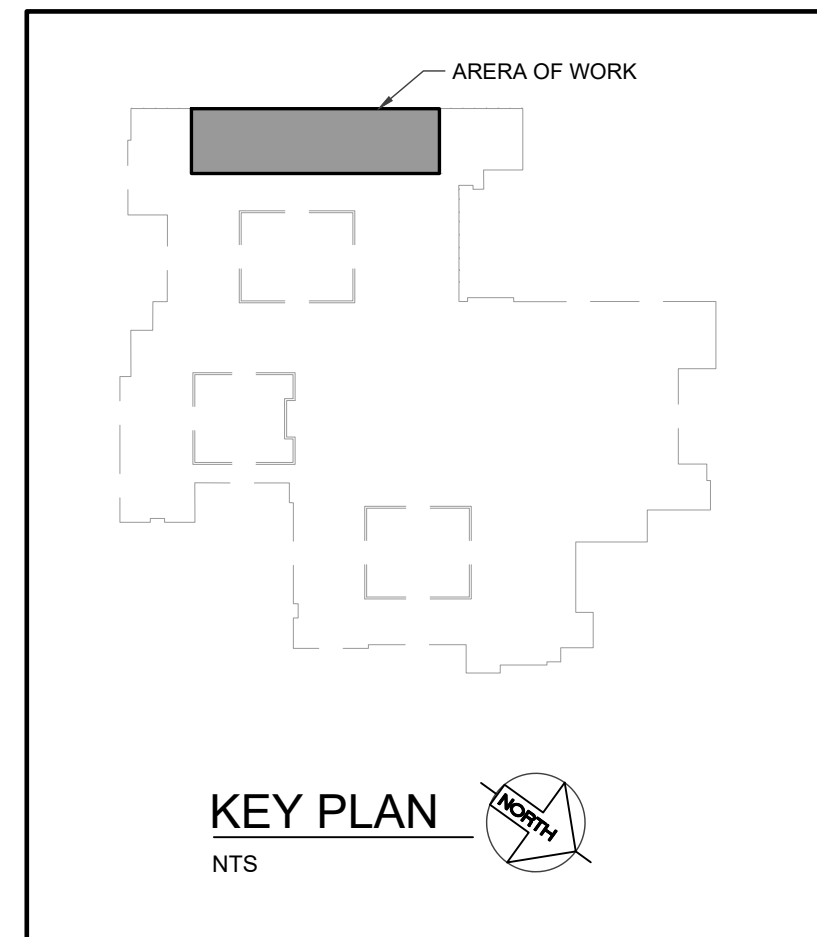
PARTIAL FLOOR PLAN - NEW SANITARY

SCALE - 1:100



REVIEW FIRESTOPPING REQUIREMENTS WITH BUILDING INSPECTOR ON SITE.

FIRESTOPPING REQUIRED FOR ANY NEW SERVICE PENETRATIONS THROUGH FIRE SEPARATIONS.



NO.	DATE	REVISION
2	25.01.30	ISSUED FOR TENDER
1	25.01.07	ISSUED FOR OWNERS REVIEW

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB. ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECTS.

GENERAL NOTES

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N2M 4X8

DRAWING TITLE:
**PARTIAL FLOOR PLAN -
DEMOLITION & NEW
SANITARY**

PROJECT NO:
A23018

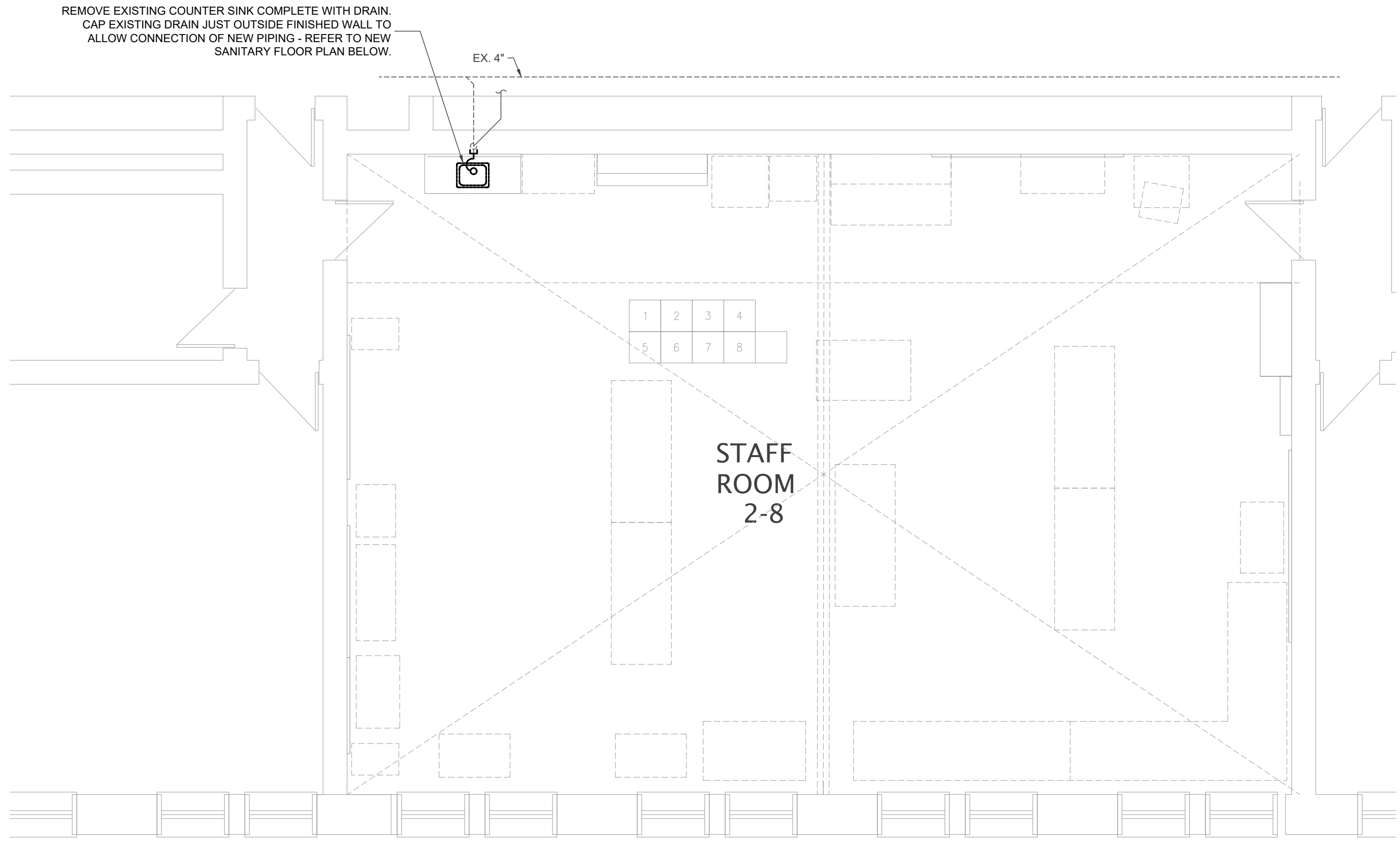
DRAWN:
JT/RV

CHECKED:
SS

DATE:
JAN. 30, 2025

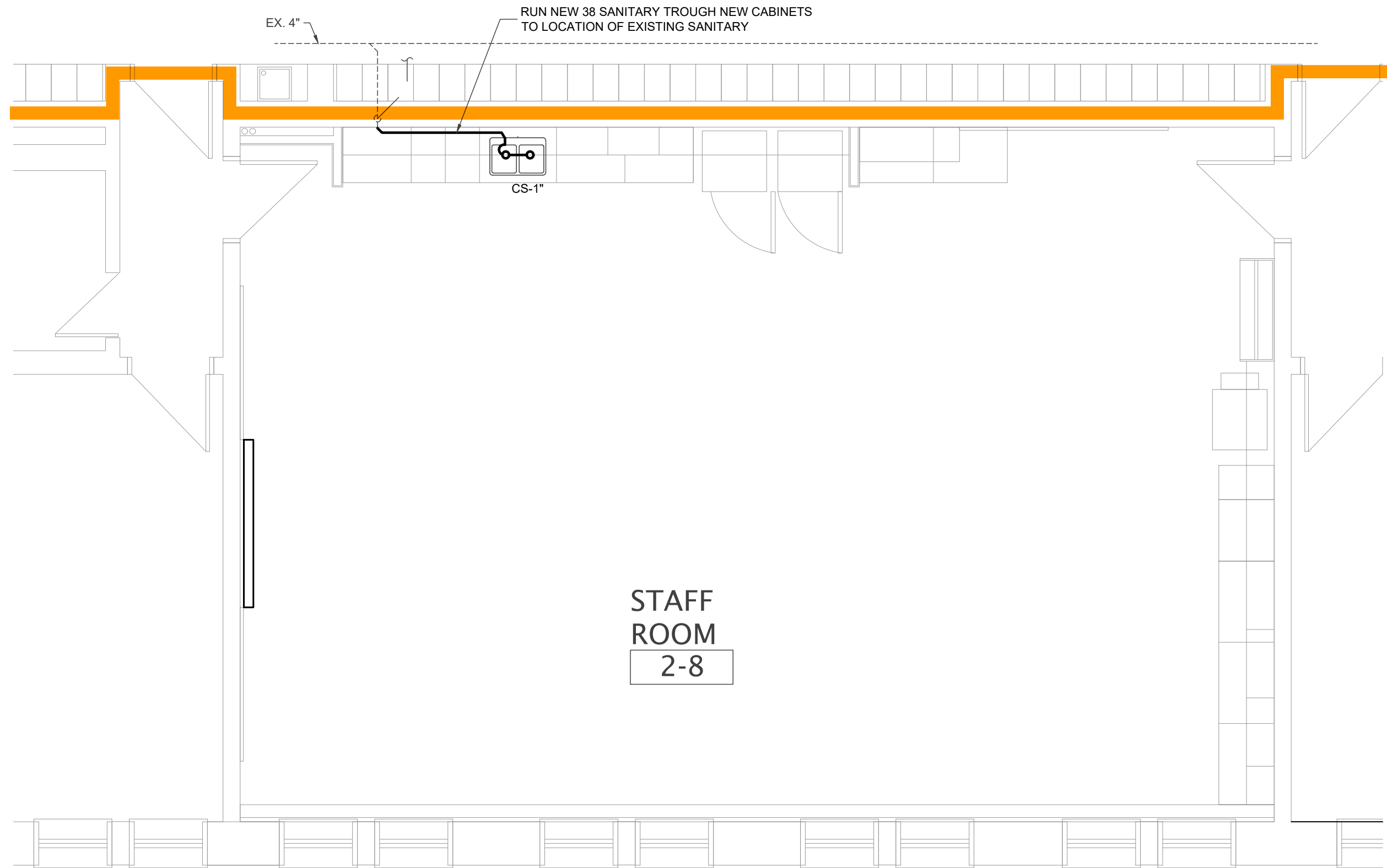
SCALE:
M100

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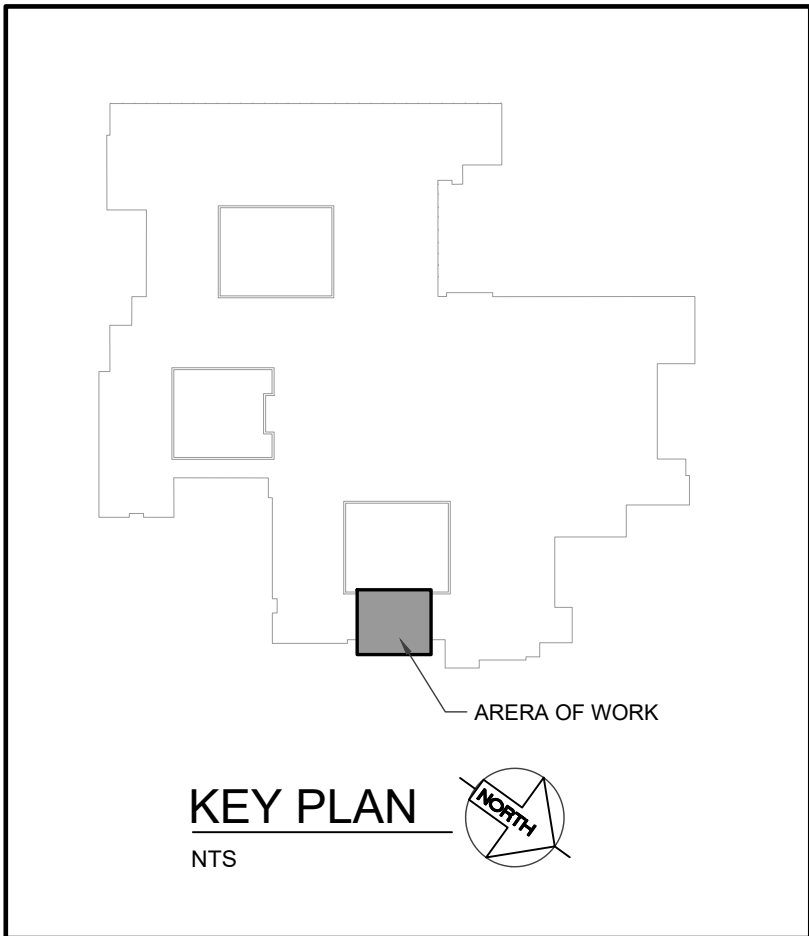
PARTIAL FLOOR PLAN - SANITARY DEMOLITION

SCALE - 1:50



PARTIAL FLOOR PLAN - NEW SANITARY

SCALE - 1:50



NO.	DATE	REVISION
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N2M 4X8

DRAWING TITLE:
PARTIAL FLOOR PLAN -
DEMOLITION & NEW
SANITARY

PROJECT NO:
A23018

SCALE:

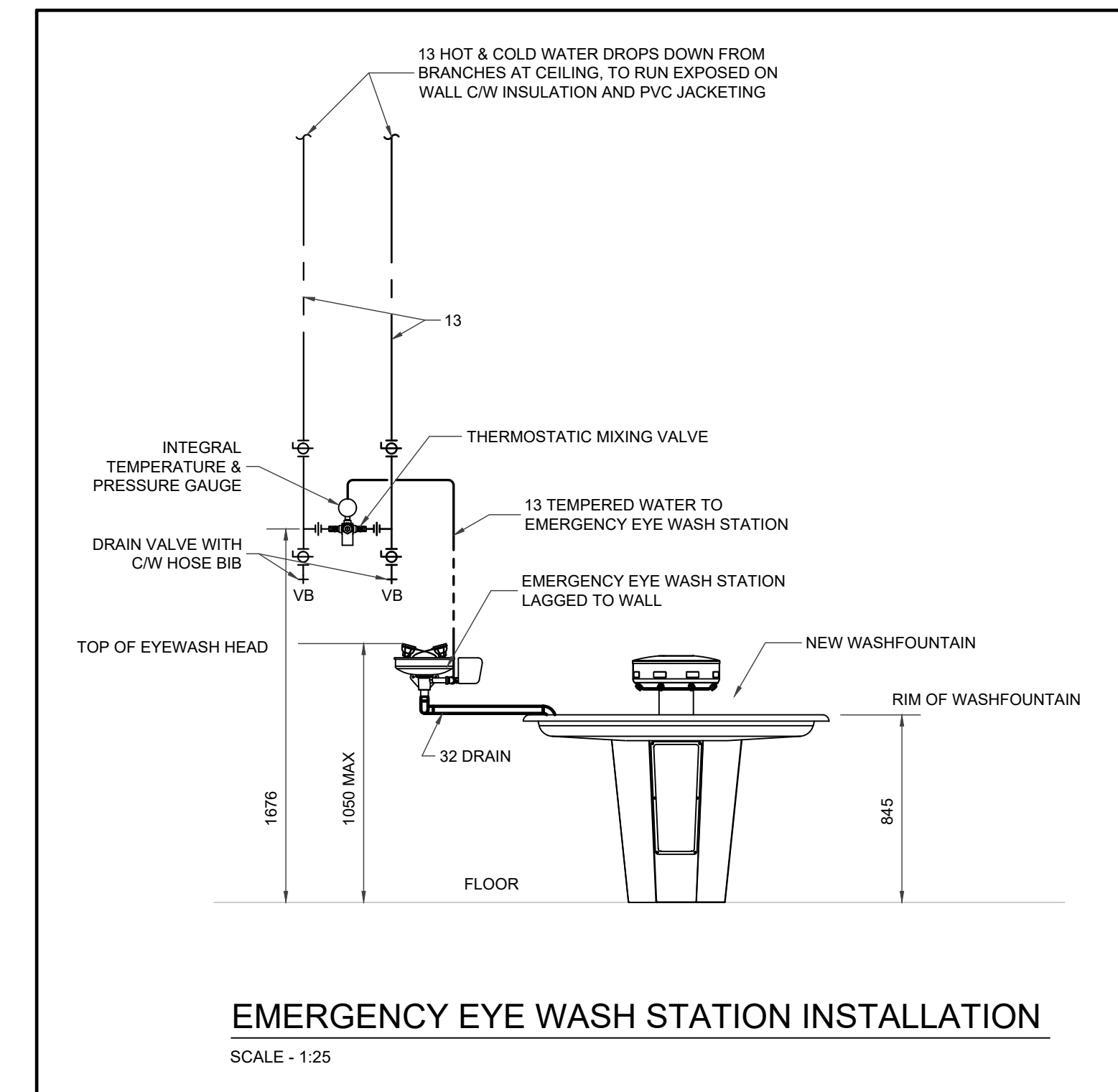
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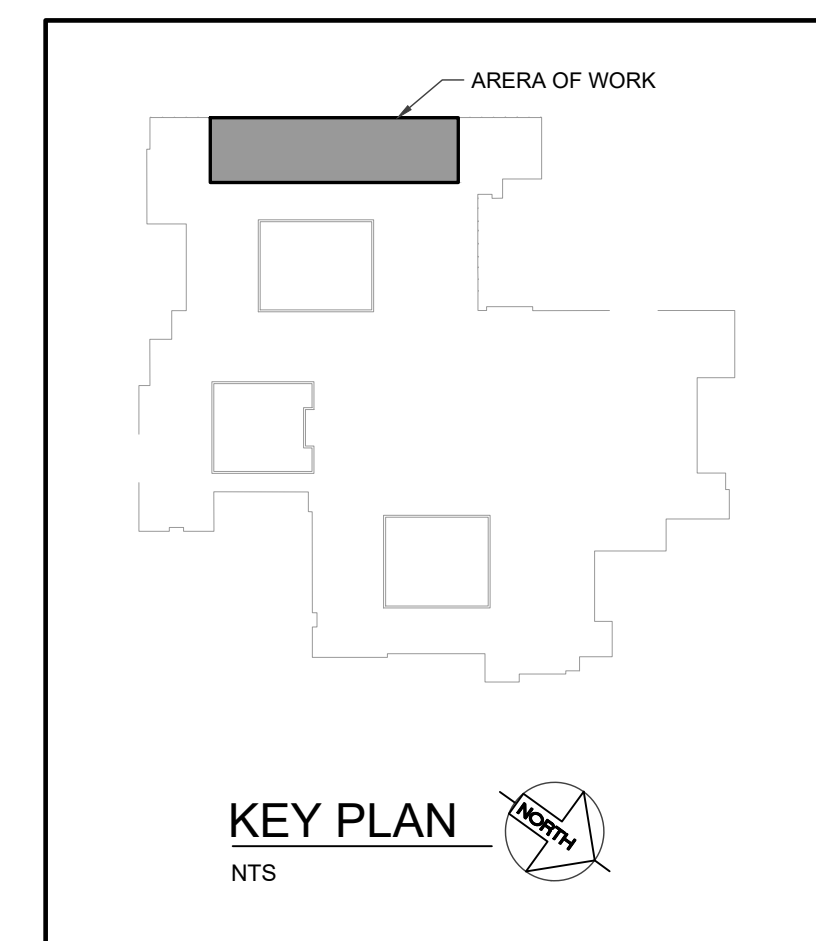
DATE:
JAN. 30, 2025

M101



PREMISE ISOLATION AND ZONE PROTECTION BACKFLOW PREVENTOR REQUIRED (DCVA) DOWNSTREAM OF WATER METER AS PER BYLAW 2013-115. SEE ATTACHED LETTER.

PLASTIC PIPE PERMITTED PROVIDED FSR NOT MORE THAN 25, PROPERLY FIRESTOPPED AND NOT WITHIN A CEILING RETURN AIR PLENUM.



REVIEW FIRESTOPPING REQUIREMENTS
WITH BUILDING INSPECTOR ON SITE.

[illegible]

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GENERAL NOTES

1. ALL MATERIALS AND WORKSMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF THE ENTIRE BUILDING CODE, LOCAL ORDINANCES, AND ALL OTHER ACTS AND REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.
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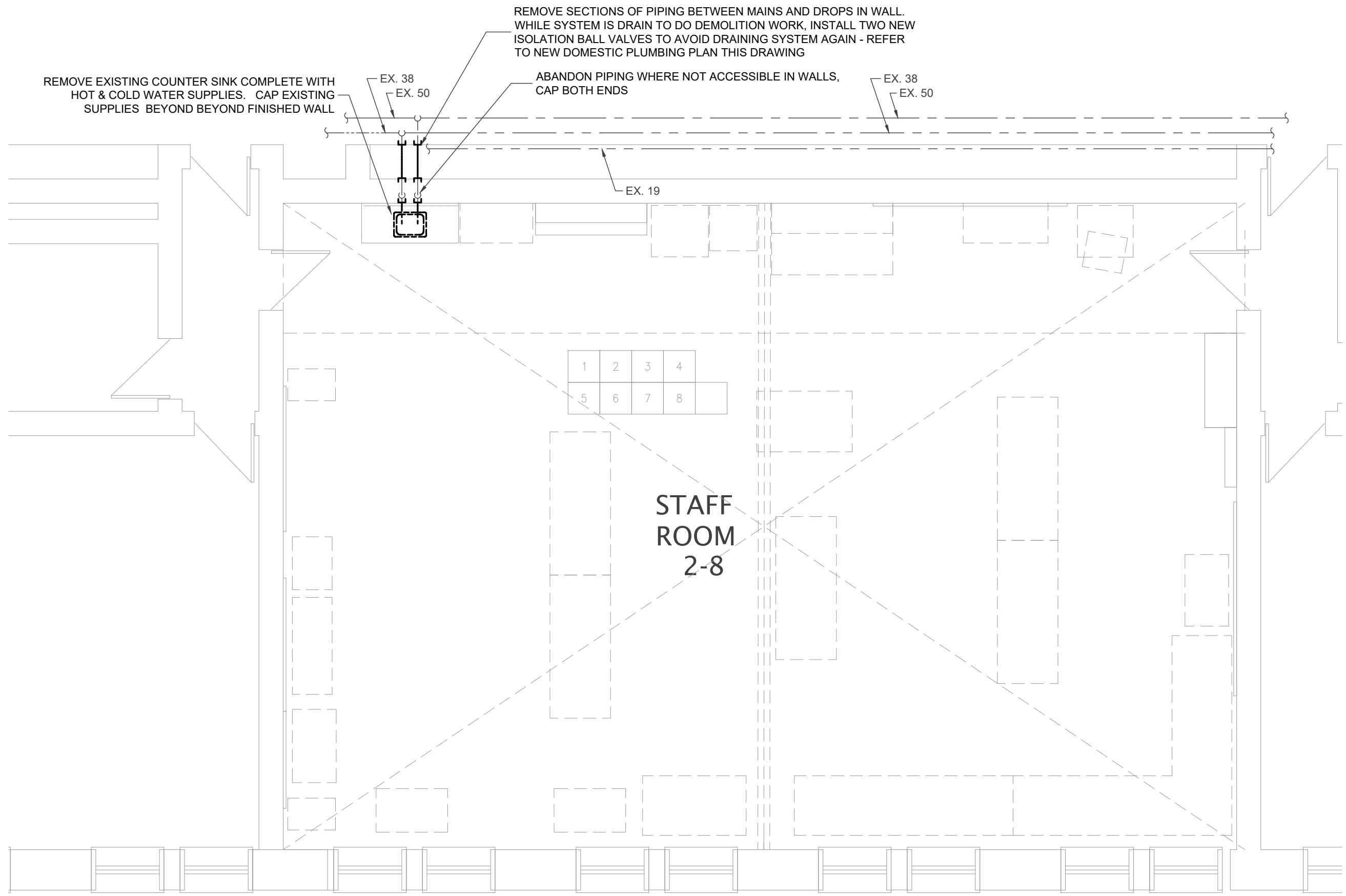
DRAWING TITLE:
PARTIAL FLOOR PLAN -
DEMOLITION & NEW
DOMESTIC

PROJECT NO:	SCALE:
A23018	

DRAWN:	DRAWING NO:
JT/RV	

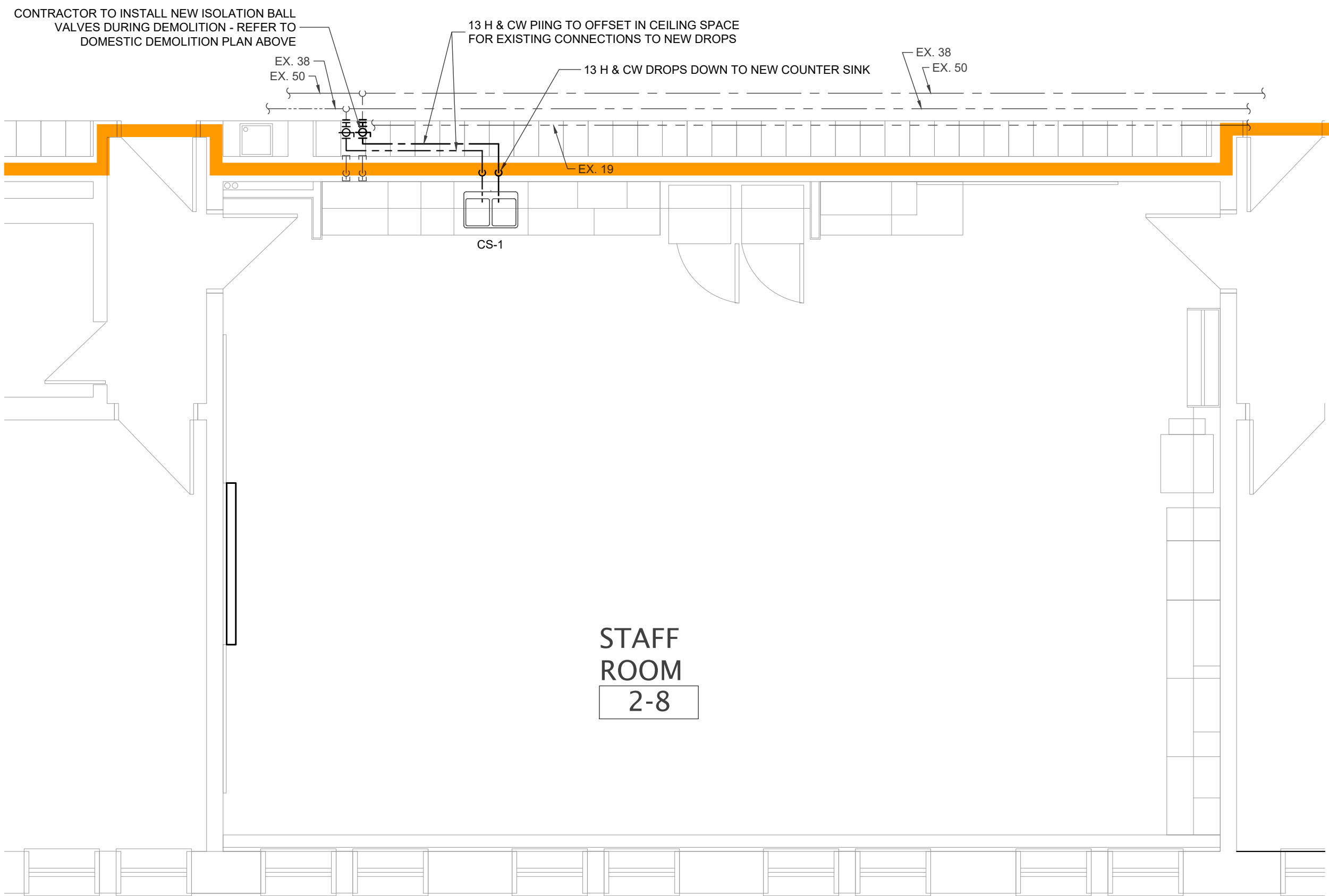
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M200



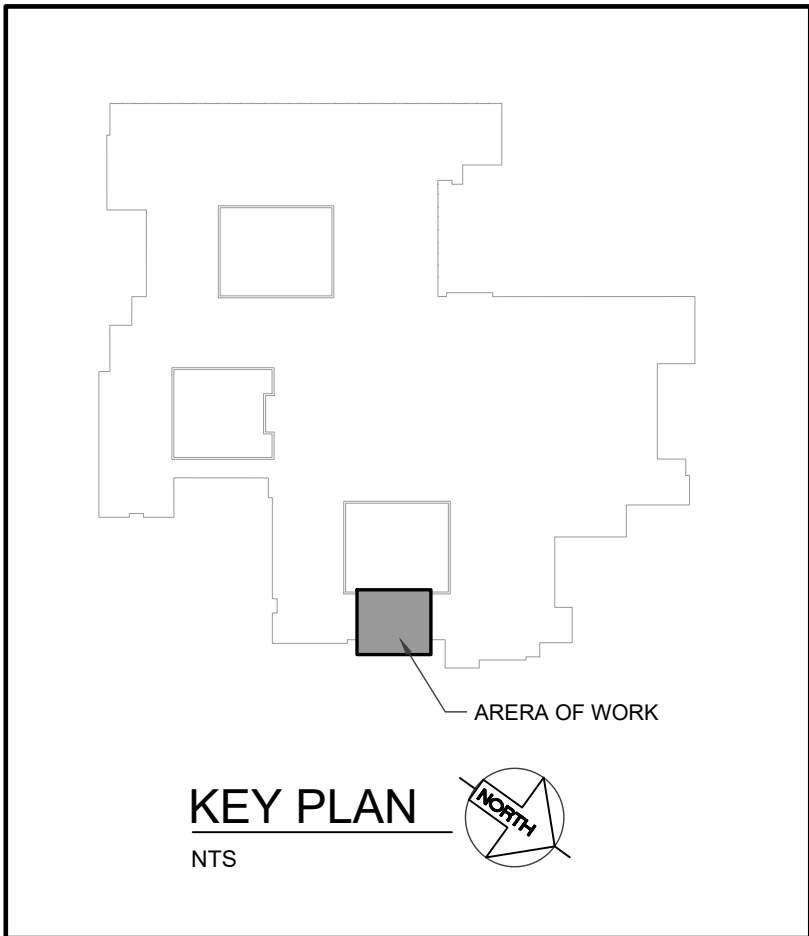
PARTIAL FLOOR PLAN - DOMESTIC DEMOLITION

SCALE - 1:50



PARTIAL FLOOR PLAN - NEW DOMESTIC

SCALE - 1:50



NO	DATE	REVISION
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DRAWING TITLE:
PARTIAL FLOOR PLAN -
DEMOLITION & NEW
DOMESTIC

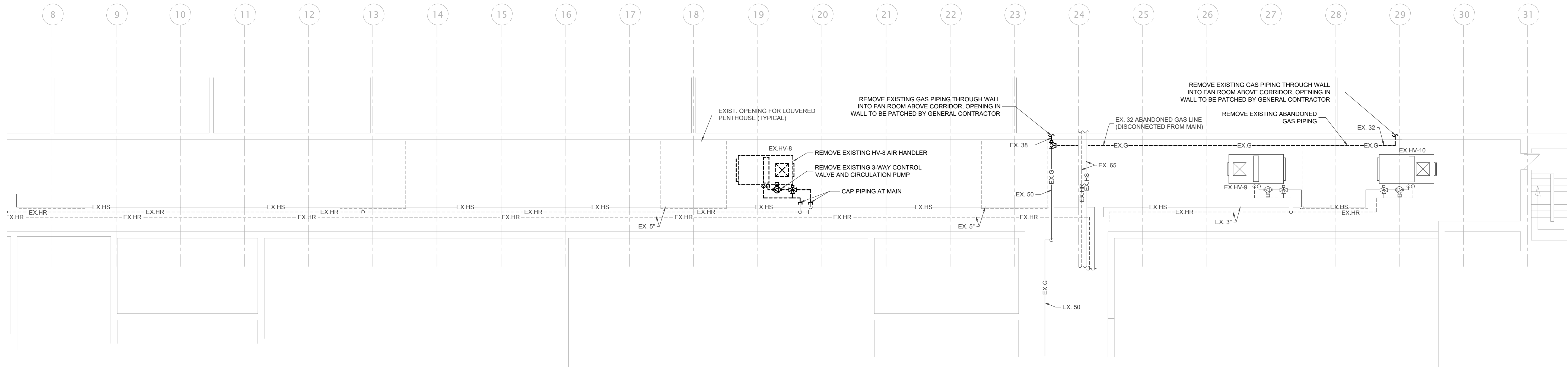
PROJECT NO: A23018 SCALE:

DRAWN: JT/RV DRAWING NO:

CHECKED: SS

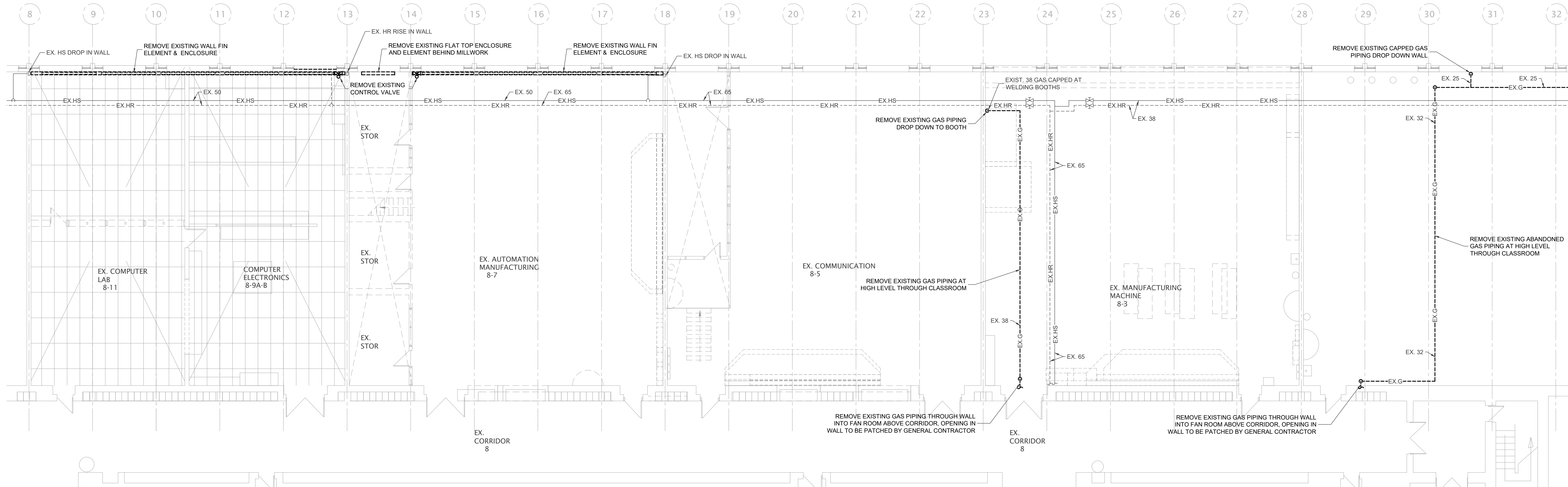
DATE: JAN. 30, 2025

M201



PARTIAL FLOOR PLAN - MEZZANINE MECH. FAN ROOM - HEATING DEMOLITION

SCALE - 1:100

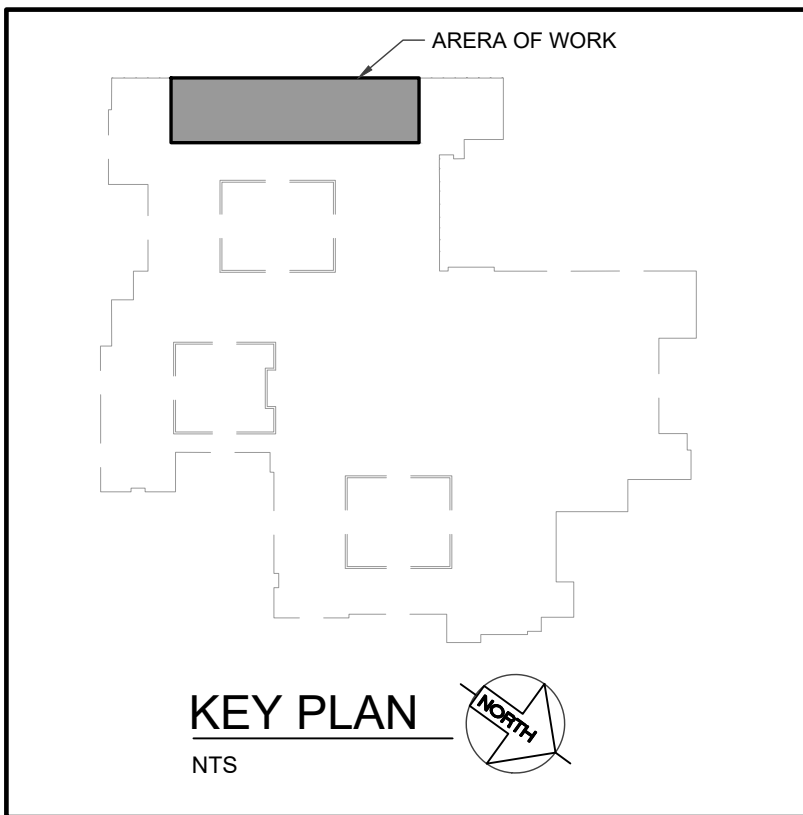


PARTIAL FLOOR PLAN - HEATING DEMOLITION

SCALE - 1:100

NOTES:

1. EXISTING INFORMATION INDICATED ON THIS DRAWING IS FROM EXISTING DRAWINGS DATED FEBRUARY 1963, AND FROM SITE SURVEYS DURING DESIGN.

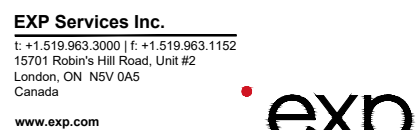


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DRAWING TITLE:
PARTIAL FLOOR PLAN -
HEATING DEMOLITION

PROJECT NO:

A23018

DRAWN:

JT/RV

CHECKED:

SS

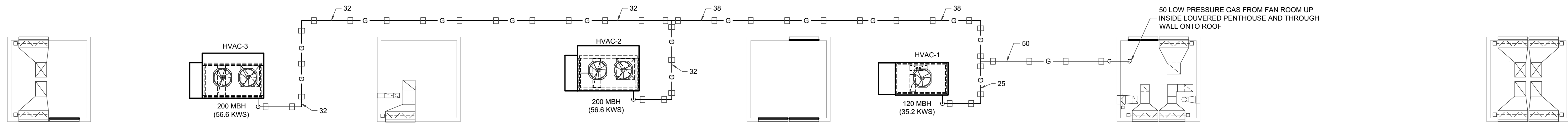
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JAN. 30, 2025

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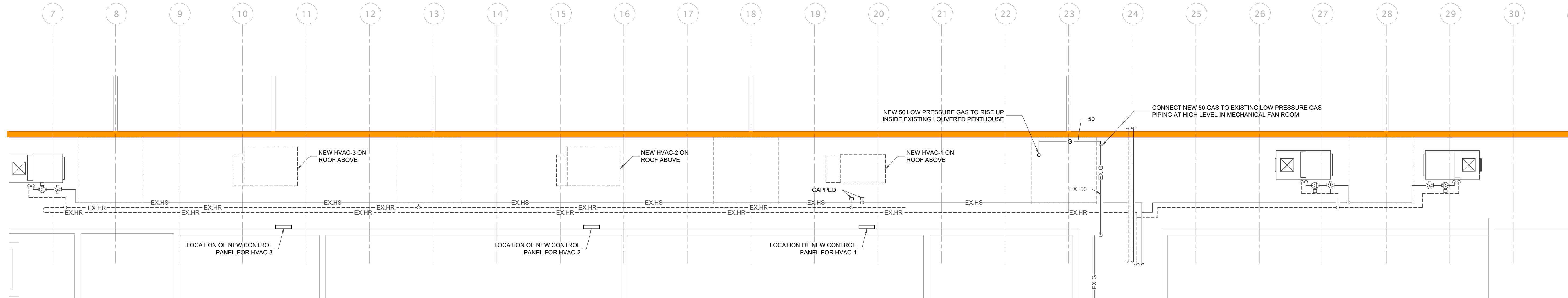
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M300



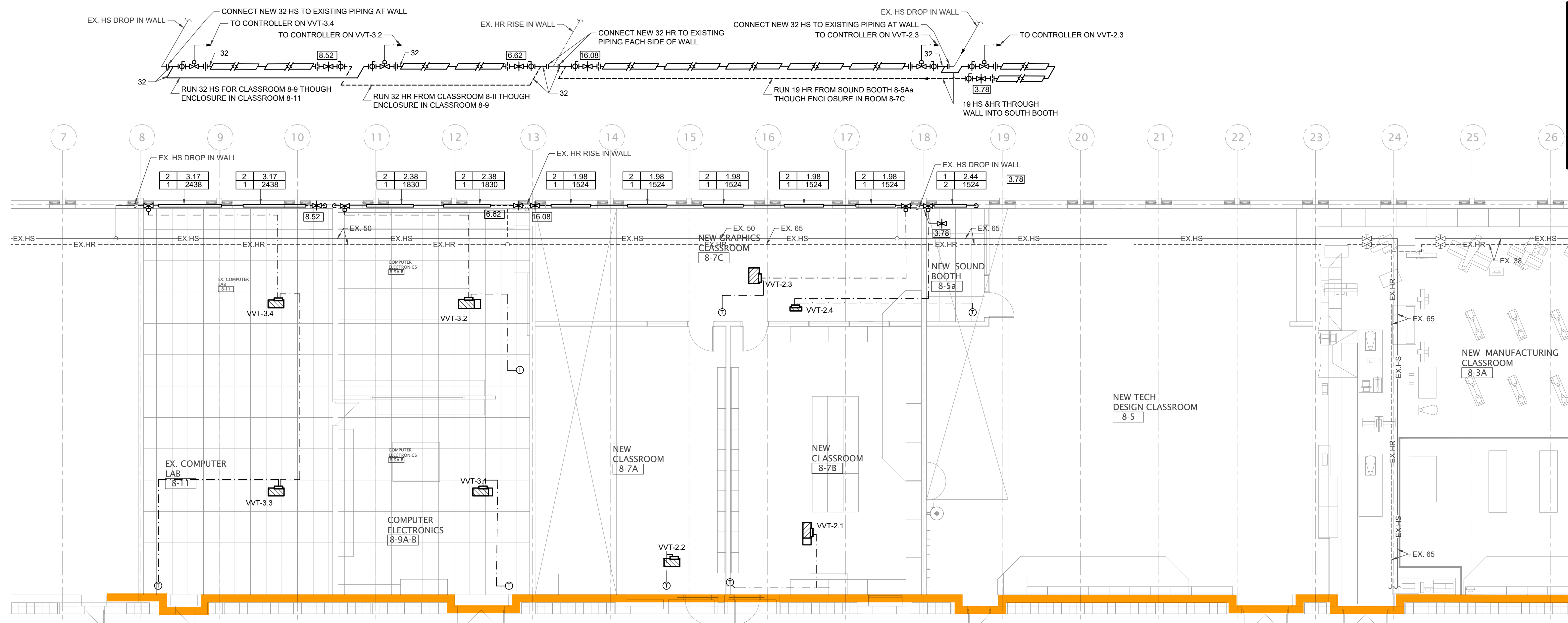
PARTIAL ROOF PLAN - ABOVE MEZZANINE MECH. FAN ROOM - NEW HEATING

SCALE - 1:100



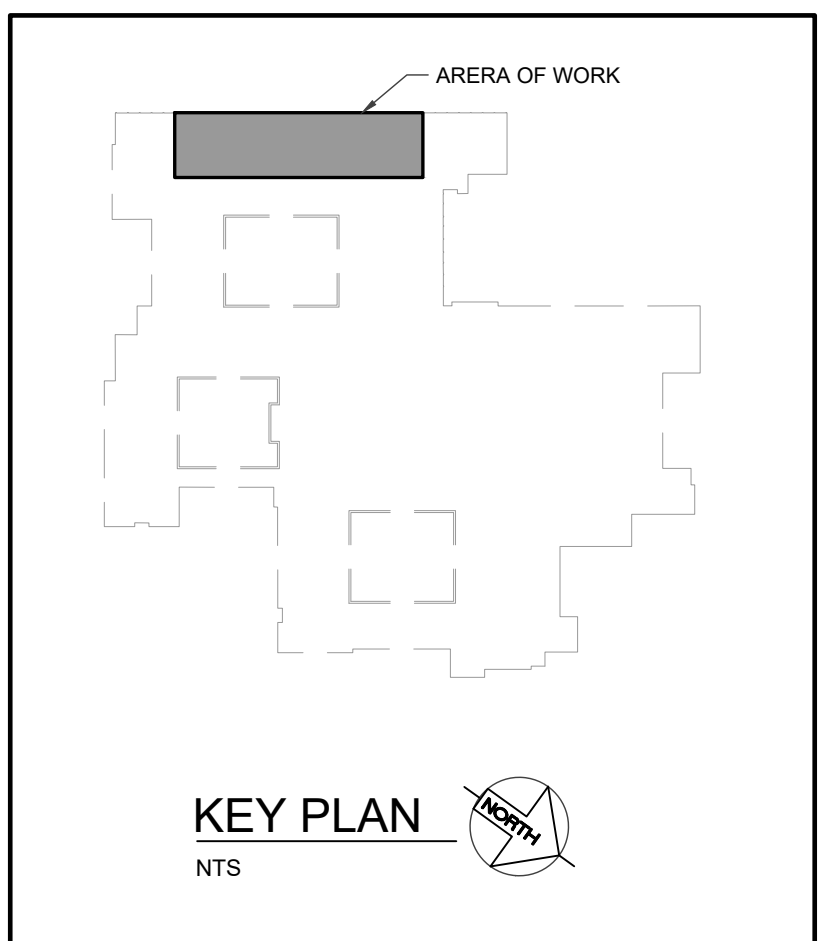
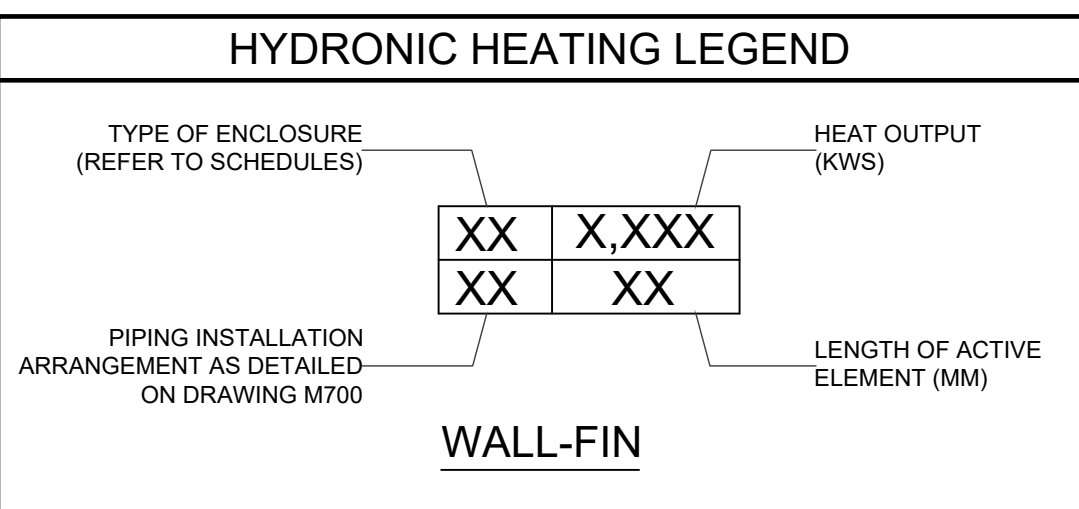
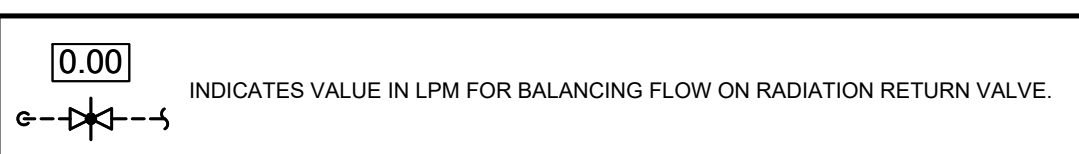
PARTIAL FLOOR PLAN - MEZZANINE MECH. FAN ROOM - NEW HEATING

SCALE - 1:100



PARTIAL FLOOR PLAN - NEW HEATING

SCALE - 1:100



NO.	DATE	REVISION
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- GENERAL NOTES**
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 6. ALL DIMENSIONS GIVEN ARE IN METRIC.



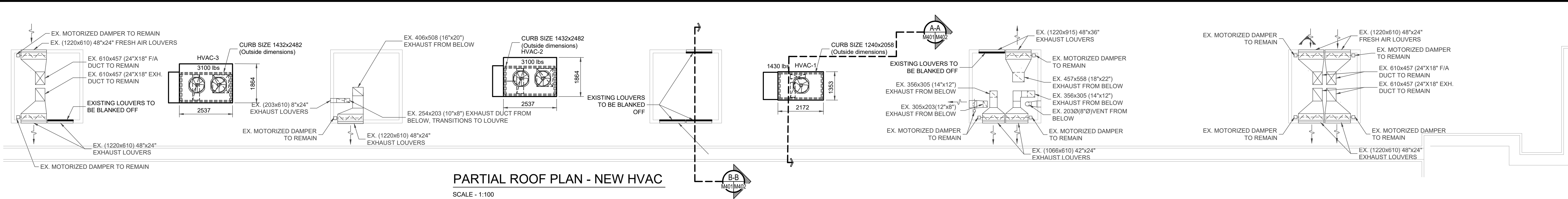
EXP Project # LCH-250001-1-03-AD
• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •
• INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •



FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION
255 Fisher-Hallman Rd,
Kitchener, Ontario
N2M 4X8

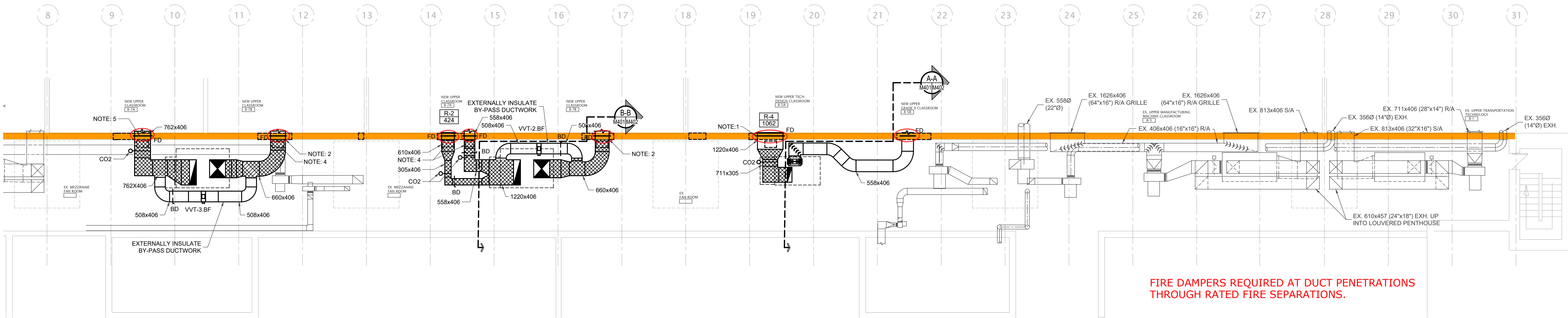
DRAWING TITLE:
PARTIAL FLOOR PLAN -
NEW HEATING

PROJECT NO: A23018	SCALE:
DRAWN: JT/RV	DRAWING NO:
CHECKED: SS	M301
DATE: JAN. 30, 2025	



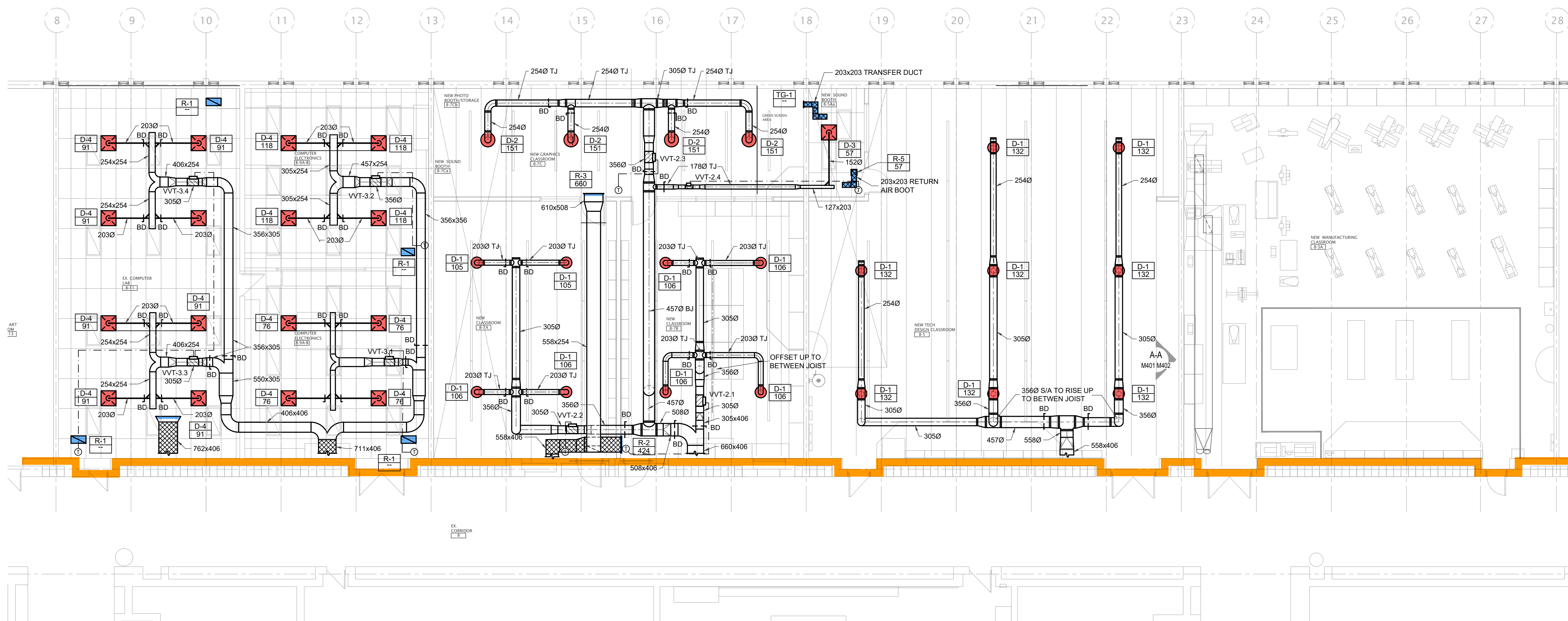
PARTIAL ROOF PLAN - NEW HVAC

SCALE - 1:100



PARTIAL FLOOR PLAN - MEZZANINE MECH. FAN ROOM - NEW HVAC

SCALE - 1:100

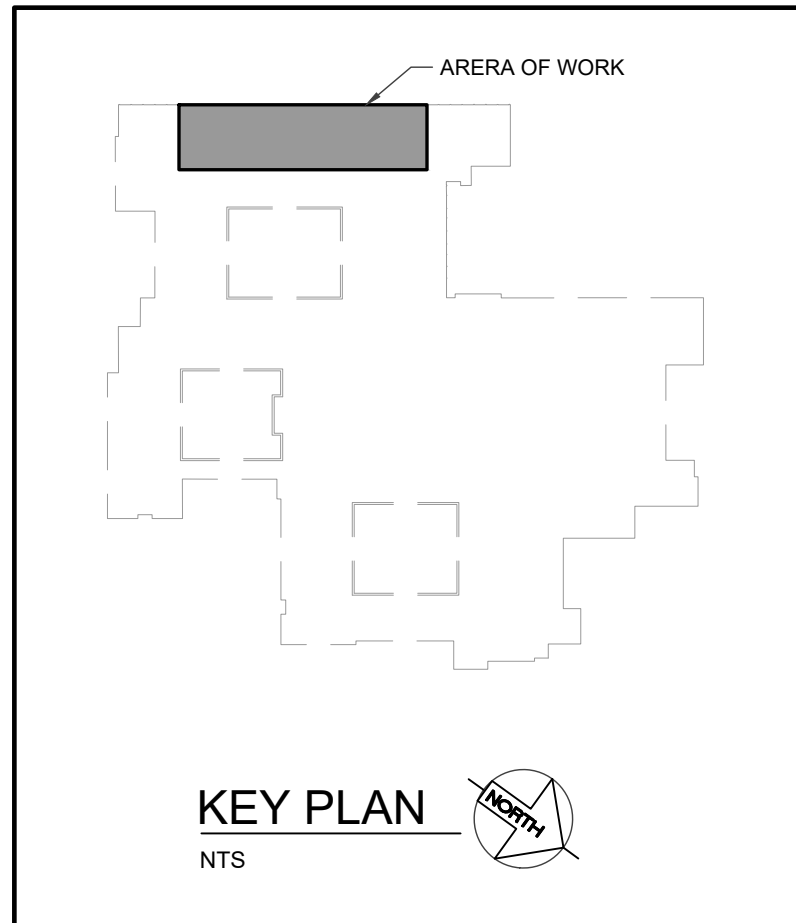


PARTIAL FLOOR PLAN - NEW HVAC

SCALE - 1:100

ALL MATERIALS WITHIN A FLOOR OR ROOF ASSEMBLY USED AS A RETURN AIR PLENUM SHALL HAVE A FLAME-SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DEVELOPED CLASSIFICATION OF NOT MORE THAN 50. EXPOSED WOOD AND WOOD FRAMING IS NOT PERMITTED WITHIN A RETURN AIR PLENUM.

- NOTES:**
- 558x406 SUPPLY AIR DUCT AND 1220x406 RETURN DUCTS ARE TO BE INSTALLED IN EXISTING OPENING LEFT BY THE REMOVAL OF THE EXISTING 1626x406 RETURN AIR GRILLE. DUCTWORK TO BE COMPLETE WITH FIRE DAMPERS. REMAINDER OF OPENING TO BE INFILL BY GENERAL CONTRACTOR REFER TO ARCHITECTURAL DRAWINGS.
 - 600x406 SUPPLY AIR DUCT TO BE INSTALLED IN EXISTING OPENING LEFT BY THE REMOVAL OF THE EXISTING 1626x406 RETURN AIR GRILLE. DUCTWORK TO BE COMPLETE WITH FIRE DAMPERS. REMAINDER OF OPENING TO BE INFILL BY GENERAL CONTRACTOR REFER TO ARCHITECTURAL DRAWINGS.
 - 558x406 AND 610x406 RETURN DUCTS ARE TO BE INSTALLED IN EXISTING OPENING LEFT BY THE REMOVAL OF THE EXISTING 1626x406 RETURN AIR GRILLE. DUCTWORK TO BE COMPLETE WITH FIRE DAMPERS. REMAINDER OF OPENING TO BE INFILL BY GENERAL CONTRACTOR REFER TO ARCHITECTURAL DRAWINGS.
 - PROVIDE FIRE DAMPER ACCESS DOOR IN DUCTWORK ON MEZZANINE SIDE.
 - 762x406 RETURN DUCT TO BE INSTALLED IN EXISTING OPENING LEFT BY THE REMOVAL OF EXISTING 1626x406 RETURN GRILLE. DUCTWORK TO BE COMPLETE WITH FIRE DAMPER. REMAINDER OF OPENING TO BE INFILL BY GENERAL CONTRACTOR REFER TO ARCHITECTURAL DRAWINGS.



KEY PLAN

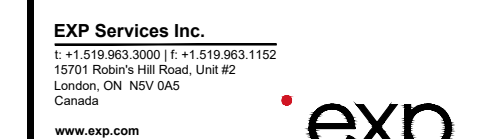
NTS

NO.	DATE	REVISION
2	25.01.30	ISSUED FOR TENDER
1	25.01.07	ISSUED FOR OWNERS REVIEW

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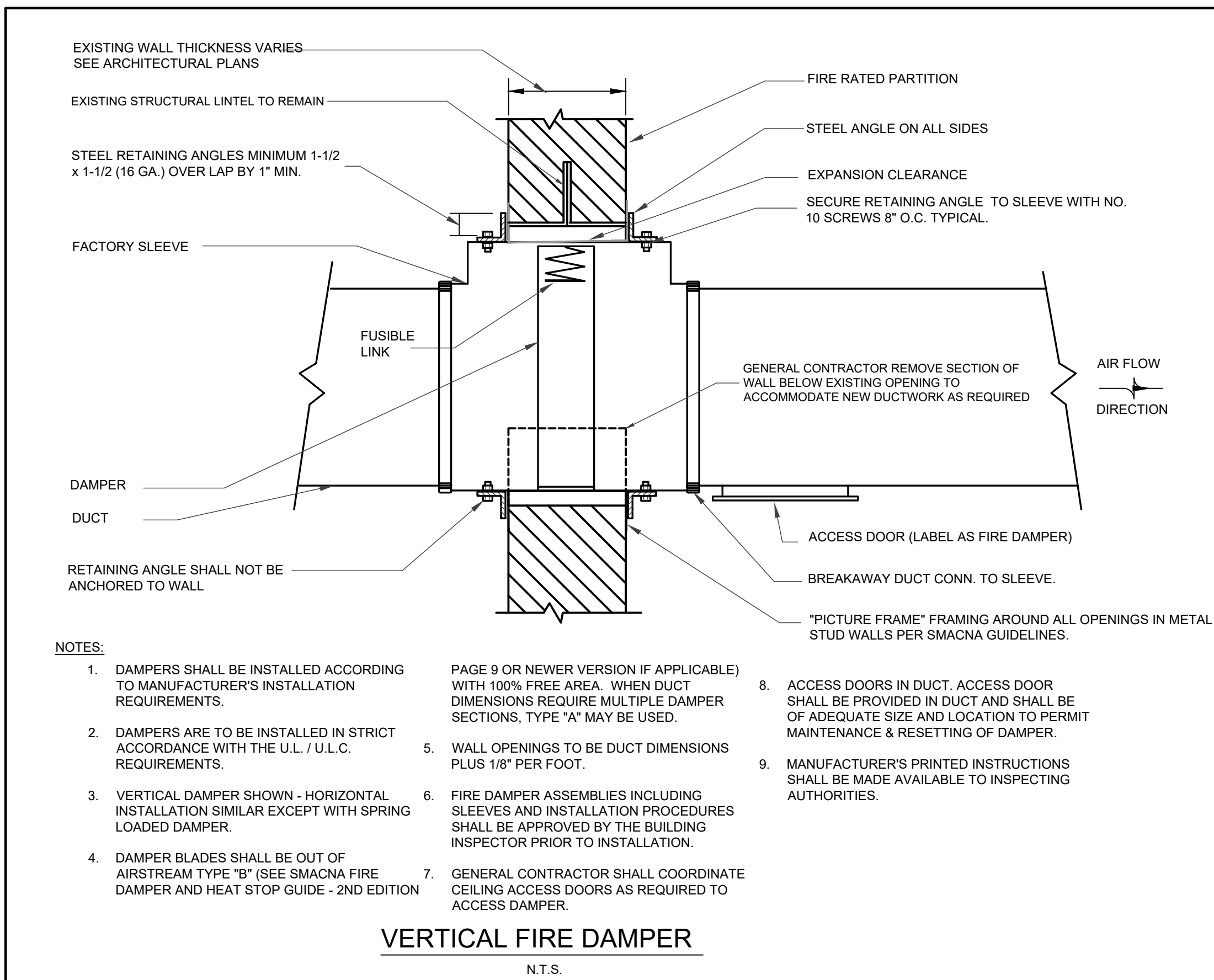
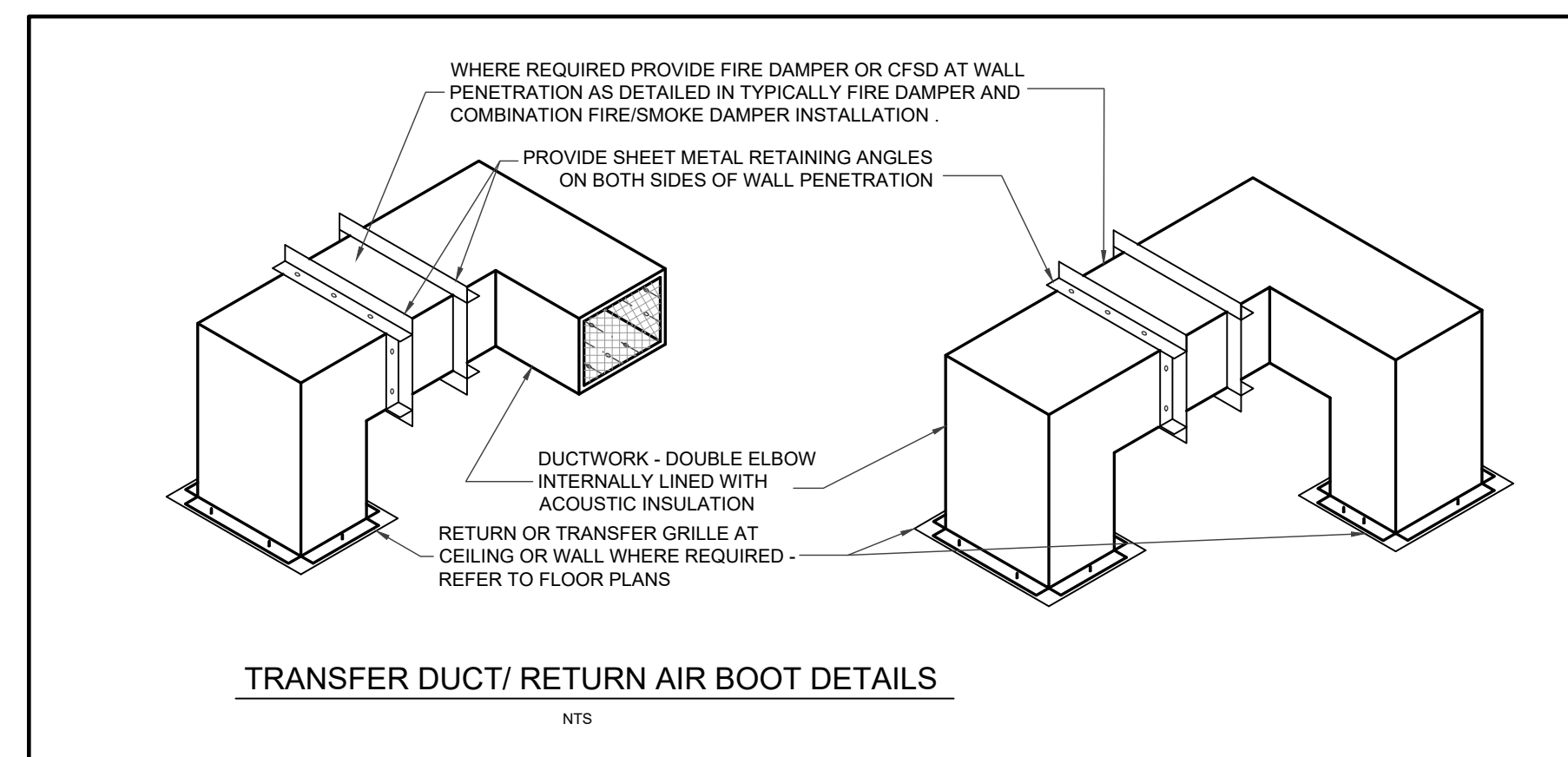
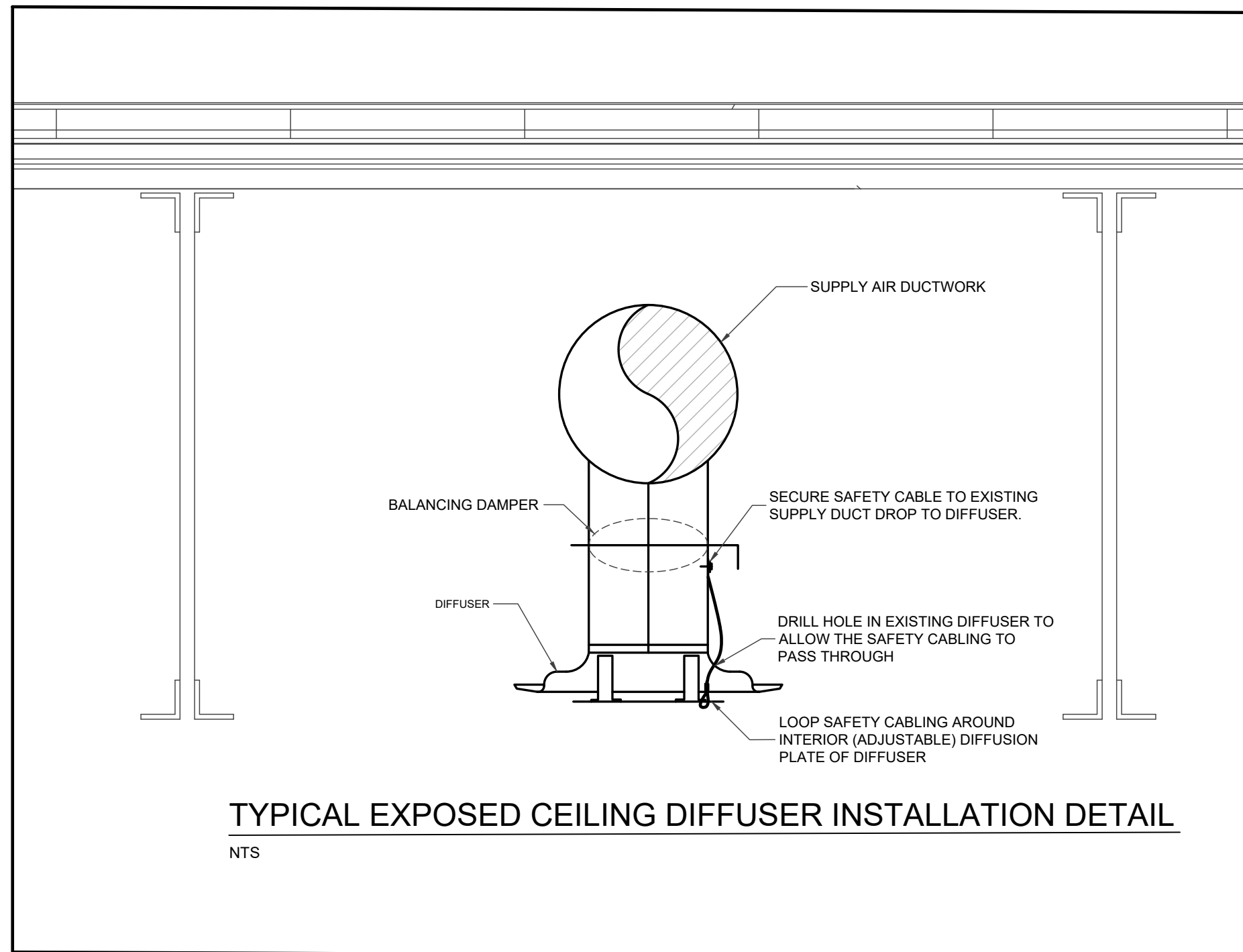
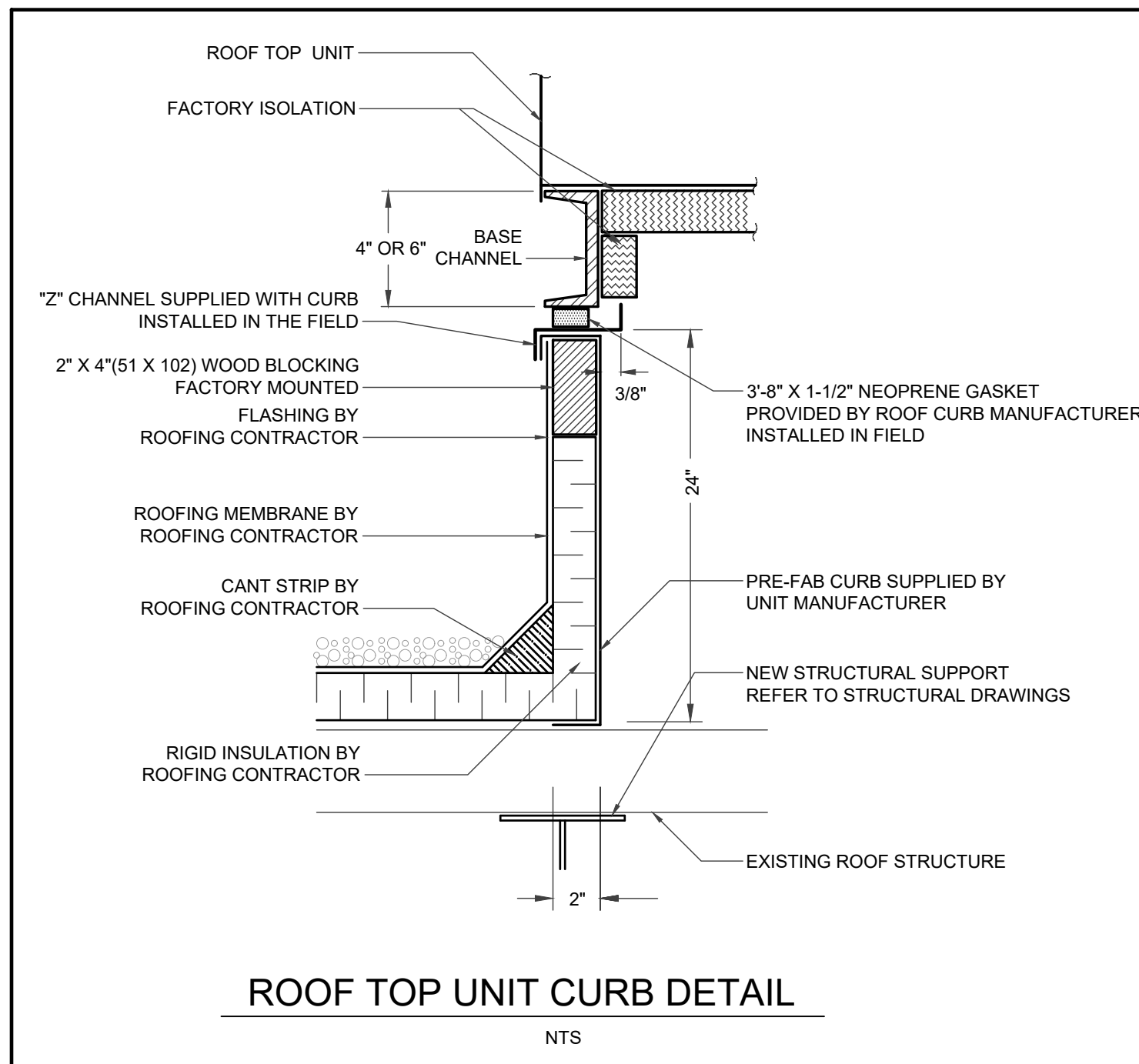
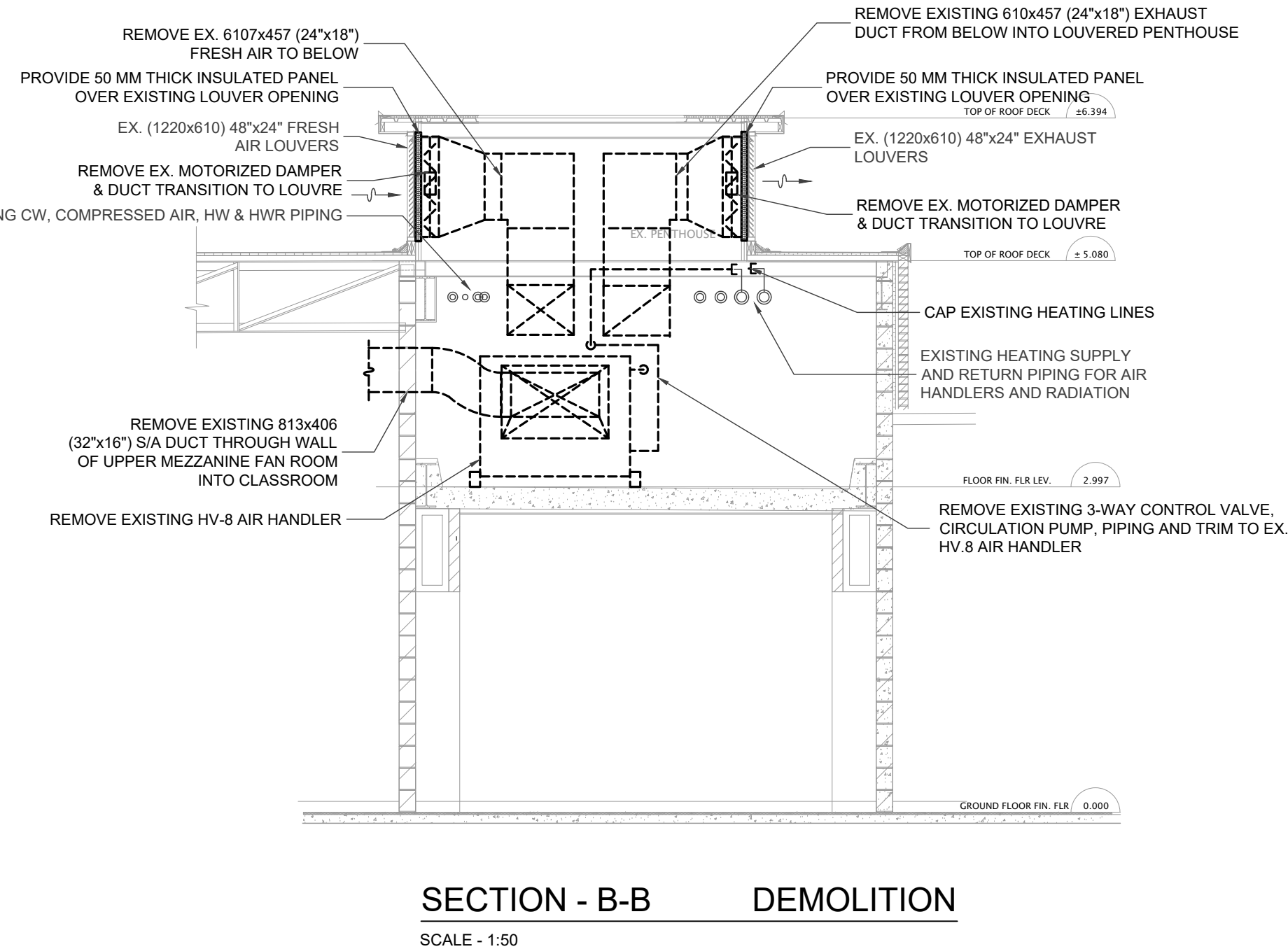
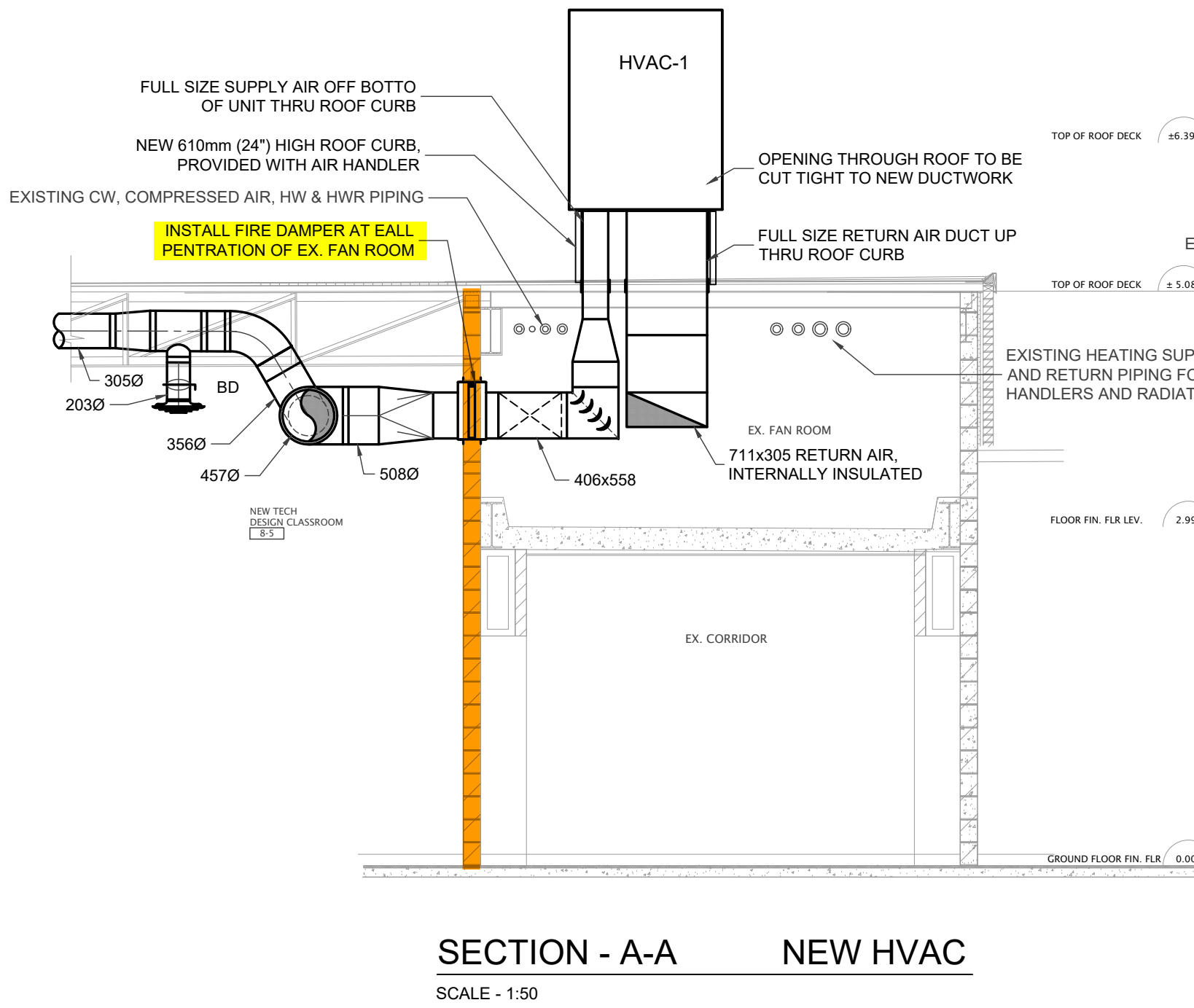
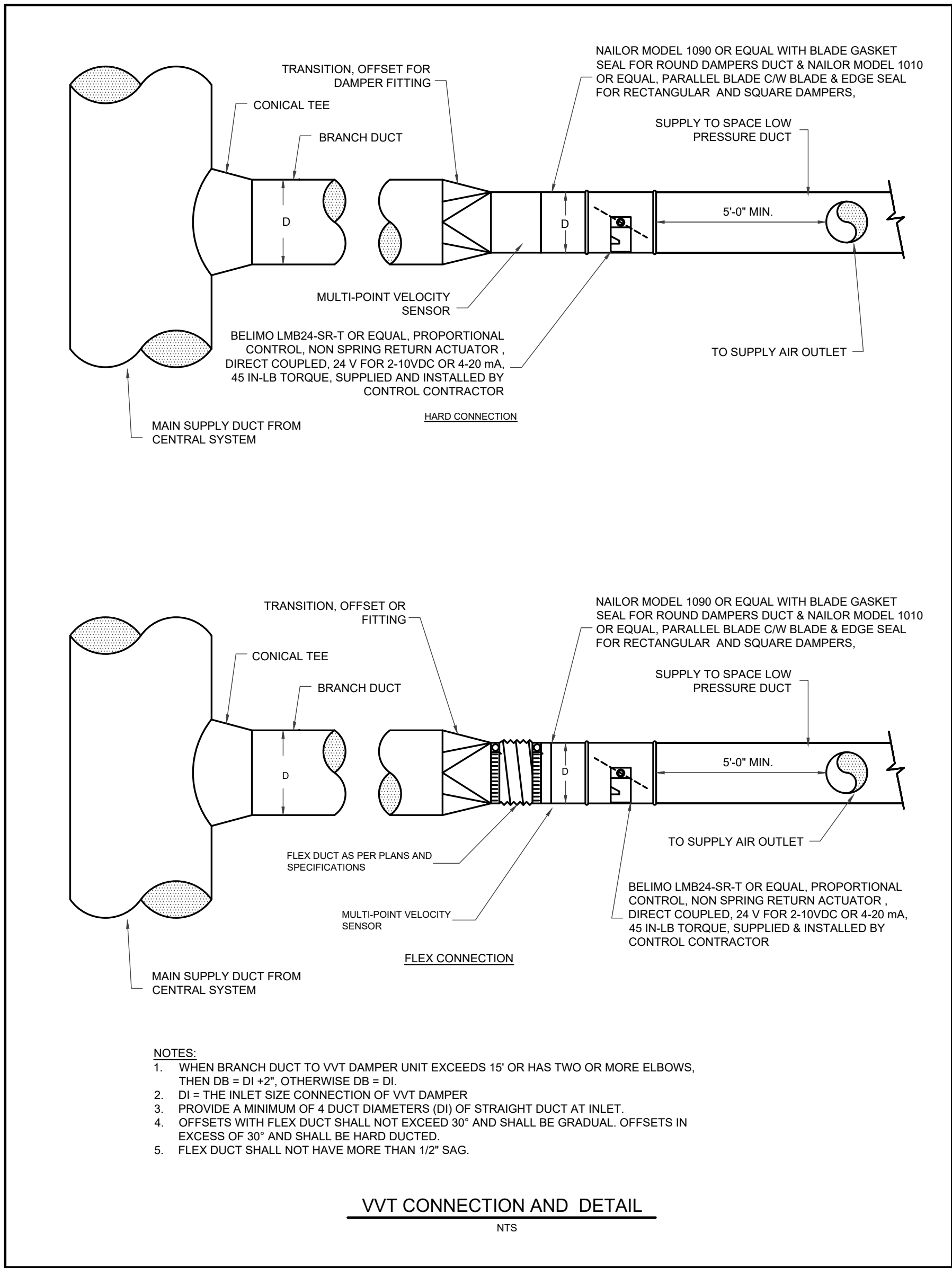


FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION

255 Fisher-Hallman Rd,
Kitchener, Ontario
N2M 4X8

DRAWING TITLE:
PARTIAL FLOOR & ROOF
PLANS - NEW HVAC

PROJECT NO: A23018	SCALE:
DRAWN: JT/RV	DRAWING NO:
CHECKED: SS	M401
DATE: JAN. 30, 2025	



25.01.30	ISSUED FOR TENDER	1	25.01.07	NO DATE
2	25.01.30	1	25.01.07	NO DATE

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EXP Project # LCN-250031-1-03-A0

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LICENSED PROFESSIONAL ENGINEER
S. J. SINASAC
100187368
25.01.30
PROVINCE OF ONTARIO

WATERLOO REGION DISTRICT SCHOOL BOARD

FOREST HEIGHTS C.I. TECH SHOP REVITALIZATION

255 Fisher-Hallman Rd,
Kitchener, Ontario
N2M 4X8

DRAWING TITLE:
SECTIONS & DETAILS
- NEW HVAC

PROJECT NO: A23018	SCALE:
DRAWN: JT/RV	DRAWING NO:
CHECKED: SS	M402
DATE: JAN. 30, 2025	

[illegible]

LOUVER, GRILLE AND DIFFUSER SCHEDULE				
SYMBOL	AIR FLOW RANGE [CFM / L/S]	NECK SIZE/ FACE SIZE [INCH. / (MM)]	MODEL NUMBER	DESCRIPTION
D-1 CFM	140 - 280 (86 - 132)	8"0 / 16"0 (2030 / 4570)	8"0/RCDA/B12	FULLY ADJUSTABLE ROUND CONE, 4 CONES, WHITE STEEL.
D-2 CFM	280 - 435 (132 - 205)	10"0 / 22.5"0 (2540 / 5720)	10"0/RCDA/B12	FULLY ADJUSTABLE ROUND CONE, 4 CONES, WHITE STEEL.
D-3 CFM	0 - 160 (0 - 76)	6"0 / 24" x 24" (1520 / 610 x 610)	6"0/24"x24"/SCD/31/3C/B12	FIXED SQUARE CONE, T-BAR MOUNT, 3 CONES, WHITE STEEL.
D-4 CFM	160 - 315 (76 - 149)	8"0 / 24" x 24" (2030 / 610 x 610)	8"0/24"x24"/SCD/31/3C/B12	FIXED SQUARE CONE, T-BAR MOUNT, 3 CONES, WHITE STEEL.
R-1 CFM	VARIES	24" x 12" (610 x 305)	24"x12"/80/TB/B12	EGG CRATE FACE RETURN T-BAR LAY-IN, WHITE
R-2 CFM	900 (424)	24" x 16" (610 x 406)	24"x16"/530/F/LA/B12	LOUVERED RETURN GRILLE, 45° DEFLECTION, FLAT BORDER W/ COUNTERSINK SCREW HALES, 3/4" BLADE SPACING, WHITE
R-3 CFM	1400 (660)	24" x 20" (610 x 508)	24"x20"/530/F/LA/B12	LOUVERED RETURN GRILLE, 45° DEFLECTION, FLAT BORDER W/ COUNTERSINK SCREW HALES, 3/4" BLADE SPACING, WHITE
R-4 CFM	2250 (1062)	48" x 16" (1220 x 406)	48"x16"/530/F/LA/B12	LOUVERED RETURN GRILLE, 45° DEFLECTION, FLAT BORDER W/ COUNTERSINK SCREW HALES, 3/4" BLADE SPACING, WHITE
R-5 CFM	VARIES	8" x 8" (203 x 203)	8"x8"/80/F/A/B12	EGG CRATE FACE RETURN FLAT BORDER W/ COUNTERSINK SCREW HALES, WHITE
TG-1 CFM	VARIES	8" x 8" (203 x 203)	8"x8"/530/F/LA/B12	LOUVERED RETURN GRILLE, 45° DEFLECTION, FLAT BORDER W/ COUNTERSINK SCREW HALES, 3/4" BLADE SPACING, WHITE

* MANUFACTURER: E.H. PRICE

[illegible]

6. ALL DIMENSIONS GIVEN ARE IN METRIC.



TECH SHOP REVITALIZATION & PARTIAL WINDOW REPLACEMENT

KITCHENER, ONTARIO

WRDSB PROJECT NO. **A23018**

EXP PROJECT NO. LON-24003082-A0

ELECTRICAL DRAWING LIST:

E000	ELECTRICAL TITLE SHEET
E100	PARTIAL FLOOR PLAN - DEMOLITION & NEW LIGHTING
E200	PARTIAL FLOOR PLAN - DEMOLITION & NEW POWER
E201	PARTIAL FLOOR PLAN - DEMOLITION & NEW POWER
E202	PARTIAL FLOOR PLAN - DEMOLITION & NEW POWER
E300	ELECTRICAL RISER DIAGRAM
E301	ELECTRICAL SCHEDULES AND DETAILS

GENERAL NOTES:


3. ELECTRICAL DOCUMENTS ARE BASED ON AVAILABLE INFORMATION, AND SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL, INTERIOR DESIGN, KITCHEN, MECHANICAL, ELEVATORS, AND LANDSCAPE CONSULTANT DOCUMENTS.
2. THE ROUTING OF SERVICES SHOWN ARE DIAGRAMMATIC TO SHOW DESIGN INTENT.
3. PROVIDE COMPLETE FIRE ALARM SYSTEM AS REQUIRED BY APPLICABLE CODES AND AUTHORITY HAVING JURISDICTION.
4. PROVIDE ELECTRICAL COORDINATION WITH MECHANICAL EQUIPMENT SELECTION AND LOCATION. REFER TO MECHANICAL EQUIPMENT SCHEDULES FOR DETAILS. PROVIDE CONNECTION TO VFD'S, STARTERS, SWITCHES, AND CONTROL BASED ON MECHANICAL DOCUMENTS. VERIFY THE FINAL LOCATION OF MECHANICAL EQUIPMENT PRIOR INSTALLATION.
5. THE ELECTRICAL DRAWINGS INCLUDE INDICATIVE LAYOUTS FOR SMALL POWER AND SYSTEM DEVICES. THE FINAL LOCATION AND ELEVATION OF ALL ELECTRICAL AND SYSTEM DEVICES TO BE COORDINATED WITH INTERIOR DESIGNER'S/ARCHITECT PACKAGE.
6. THE ELECTRICAL DRAWINGS INCLUDE LIGHTING LAYOUTS AND LIGHTNING CONTROL. FINAL LOCATION OF LIGHTING FIXTURES AND CONTROL DEVICES SHALL BE COORDINATED WITH ARCHITECT REFLECTED CEILING PLAN AND MECHANICAL LAYOUT.
7. REFER TO FF&E DOCUMENTS FOR ELECTRICAL AND SYSTEM REQUIREMENTS.
8. WIRELESS ACCESS POINTS (WAP) SHOWN HEREIN ARE ILLUSTRATIVE ONLY. FINAL QUANTITIES AND LOCATIONS SHALL ACCOUNT FOR ACTUAL FIELD CONDITIONS AND EQUIPMENT SELECTED. FULL COVERAGE IS REQUIRED.
9. DOOR HARDWARE SCHEDULE BY DOOR HARDWARE CONSULTANT. REFER TO ARCHITECTURAL FLOOR PLANS FOR DOOR HOLE OPEN DEVICE LOCATIONS AND OTHER DOOR HARDWARE INFORMATION.
10. CONTRACTOR SHALL IDENTIFY AND LABEL CLEARLY ALL CIRCUITS, WIRING, SERVICES, JUNCTION BOXES, PULL BOXES, DEVICES AND EQUIPMENT INSTALLED AND CONNECTED UNDER THE SCOPE OF WORK OF THIS PROJECT. IDENTIFICATION SHALL BE OF AS PER OWNER REQUIREMENTS AND ALL MARKING SHALL BE OF NON-ERASABLE LAMACOID TYPE. COORDINATE ALL LABELING WITH THE OWNER AND CONSULTANTS.
11. CONTRACTOR TO INCLUDE FOR PAYMENT OF REQUIRED PERMITS, FEE, LICENSE, CERTIFICATES OF INSPECTION ETC., IF REQUIRED.
12. WIRING AND CABLES EXPOSED WITHIN THE CEILING SPACES SHALL CONFORM TO THE PLENUM REQUIREMENTS OF ONTARIO BUILDING CODE SENTENCE 3.6.4.3(1).
13. CABLE SIZES INDICATED ON DRAWINGS ARE THE MINIMUM SIZES AND SHALL BE INCREASED BASED ON ACTUAL ROUTING AND VOLTAGE DROP.
14. PROVIDE POWER AND DATA CONNECTIONS FOR ALL BAS PANELS REQUIRED ON PROJECT. COORDINATE WITH MECHANICAL CONTRACTOR AND BAS SUPPLIER FOR EXACT LOCATION AND REQUIREMENTS.

ELECTRICAL LEGEND					
SYMBOL	DESCRIPTION	MOUNTING / HEIGHT	SYMBOL	DESCRIPTION	MOUNTING / HEIGHT
LIGHTING			CONTROLS		
	2'-0" x 4'-0" LIGHT FIXTURE	CEILING		KEY PAD	900mm TO 1100mm AS PER OBC 3.8.1.5
	2'-0" x 2'-0" LIGHT FIXTURE	CEILING		DOOR CONTACT - SECURITY	T/O DOOR FRAME
	1'-0" x 4'-0" LIGHT FIXTURE	CEILING		ELECTRICAL STRIKE	DOOR LATCH
	STRIP LIGHT FIXTURE	CEILING		CARD READER	900mm TO 1100mm AS PER OBC 3.8.1.5
	RECESSED DOWNLIGHT FIXTURE	CEILING		TIME CLOCK	AS NOTED
	LIGHT FIXTURE	POLE AS NOTED		MOTION SENSOR - SECURITY	2440mm AFF
	LIGHT FIXTURE	WALL		PUSH BUTTON	AS NOTED
	TRACK LIGHTING	CEILING		SECURITY CAMERA	AS NOTED
	1 POLE, LIGHT SWITCH	900mm TO 1100mm AS PER OBC 3.8.1.5		THERMOSTAT	1200mm AFF AS PER OBC 3.8.1.5
	GANGED LIGHT SWITCHES	900mm TO 1100mm AS PER OBC 3.8.1.5		HUMIDISTAT	1200mm AFF AS PER OBC 3.8.1.5
	DIMMER SWITCH	900mm TO 1100mm AS PER OBC 3.8.1.5		FAN SPEED CONTROLLER	1200mm AFF AS PER OBC 3.8.1.5
	347V SINGLE POLE SWITCH	900mm TO 1100mm AS PER OBC 3.8.1.5		FLOW SWITCH	AS NOTED
	LOW VOLTAGE SWITCH	900mm TO 1100mm AS PER OBC 3.8.1.5		SUPERVISORY VALVE	AS NOTED
	OCCUPANCY SENSOR - LIGHTING	WALL / 3050mm AFF		END OF LINE RESISTOR	2286mm AFF
	OCCUPANCY SENSOR - LIGHTING	CEILING		MOTORIZED DAMPER	AS NOTED
	OCCUPANCY SENSOR - LIGHTING (AIMING AS NOTED)	WALL / 3050mm AFF		ELECTRIC HEATER	AS NOTED
	OCCUPANCY SENSOR - LIGHTING (AIMING AS NOTED)	CEILING		ELECTRIC HEAT TRACING (PIPE OR AREA)	AS NOTED
	PHOTO CELL	AS NOTED	FIRE ALARM		
EMERGENCY LIGHTING				FIRE ALARM MANUAL PULL STATION	1200mm AFF AS PER OBC 3.8.1.5
	EMERGENCY BATTERY UNIT AND RECEPTACLE	2286mm AFF			

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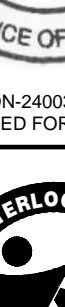


D/P Project # ION-230031-G3-AO

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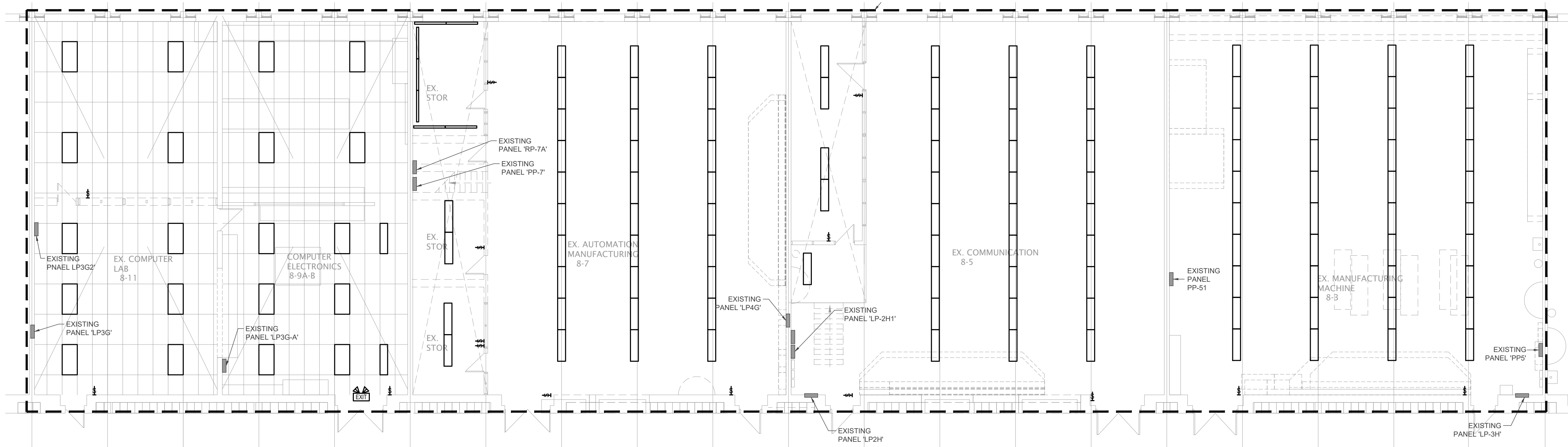
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DRAWING TITLE:

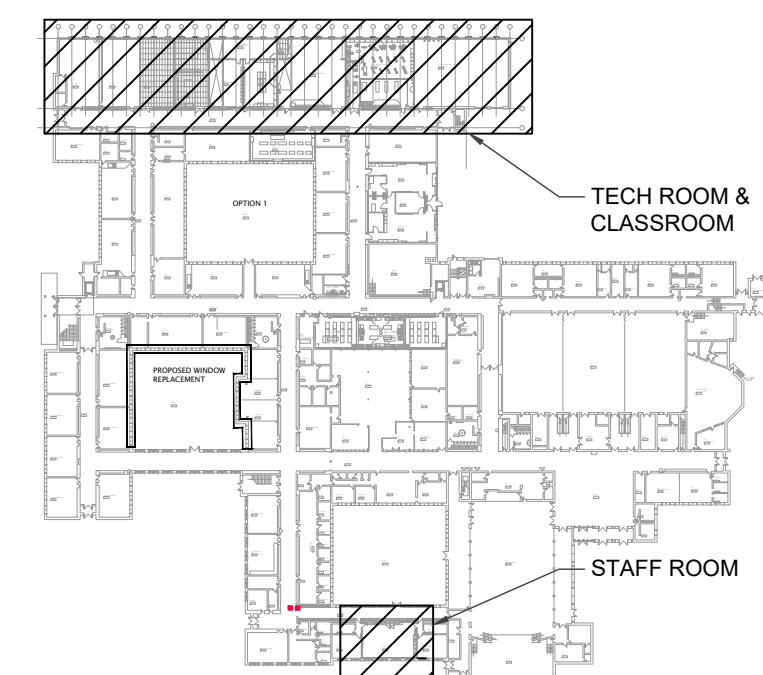
ELECTRICAL - TITLE SHEET

PROJECT NO: A23018	SCALE:
DRAWN: 	DRAWING NO:
CHECKED: 	E000
DATE: JAN. 30, 2025	



PARTIAL FLOOR PLAN - LIGHTING DEMOLITION

SCALE - 1:100



KEY PLAN

SCALE - NTS

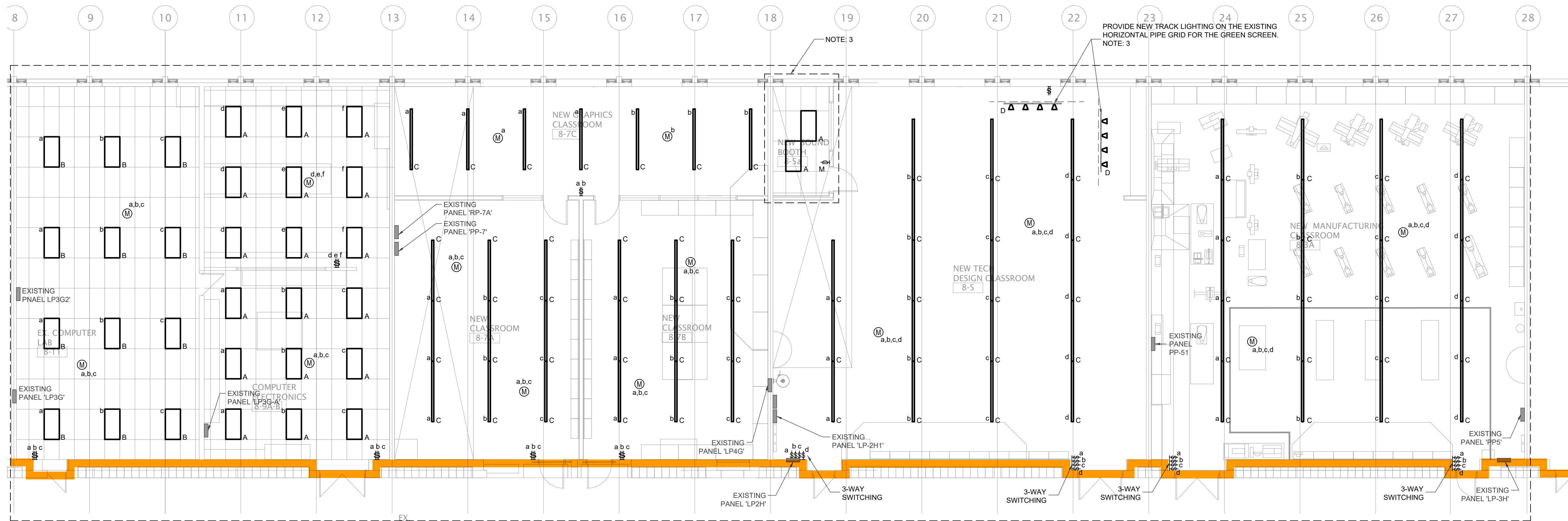
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DEMOLITION NOTES:

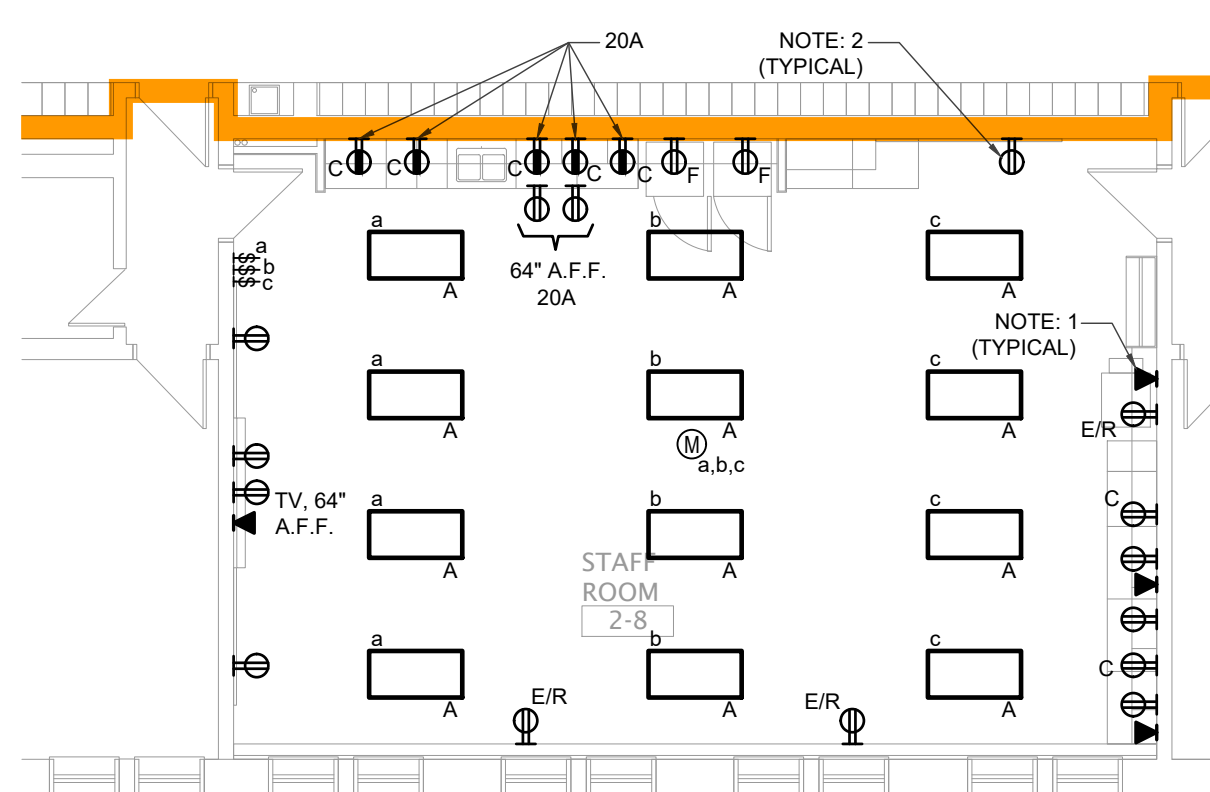
- D1. DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES AS SHOWN AND REMOVE FROM SITE. COORDINATE LIGHTING FIXTURE DISPOSAL WITH THE SCHOOL BOARD.
- D2. TEMPORARILY DISCONNECT AND MAINTAIN THE EXISTING LIGHTING BRANCH CIRCUIT WIRING FOR REUSE IN EACH AREA.
- D3. DISCONNECT AND REMOVE ALL LIGHT SWITCHING.



PARTIAL FLOOR PLAN - NEW LIGHTING

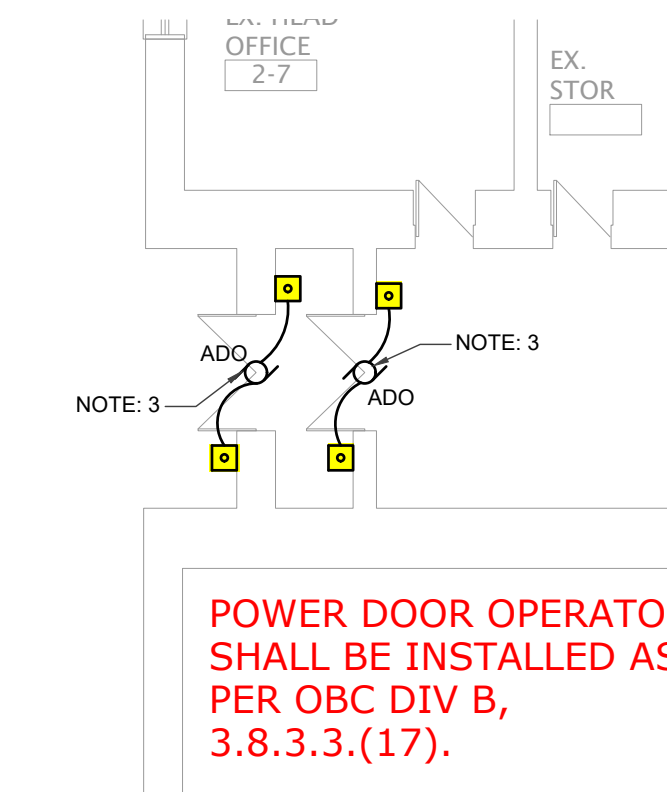
SCALE - 1:100

POWER DOOR OPERATOR PUSH BUTTONS SHALL BE LOCATED NOT LESS THAN 600mm AND NOT MORE THAN 1500mm BEYOND THE DOOR SWING WHERE THE DOOR OPENS TOWARDS THE CONTROL AS PER OBC DIV B, 3.8.3.3.(17)(d).



STAFF ROOM - ELECTRICAL LAYOUT

SCALE - 1:100



EXIT #6 - ELECTRICAL LAYOUT

SCALE - 1:100

POWER & SYSTEMS GENERAL NOTES:

1. INSTALL NEW RECEPTACLES SURFACE MOUNTED ON THE EXISTING WALL. CONDUIT FOR RECEPTACLE CAN BE SURFACE MOUNTED ON THE CONCRETE BLOCK WALLS, UP TO THE CEILING SPACE WITHIN THE CLASSROOMS. OTHERWISE CONDUITS SHALL BE RUN CONCEALED IN THE WALL OR CEILING SPACE. COORDINATE EXACT REQUIREMENTS WITH THE OWNER AND ARCHITECT.

POWER & SYSTEMS DRAWING NOTES:

1. PROVIDE PATHWAY, OUTLET BOX AND ALL REQUIRED ACCESSORIES FOR THE NEW DATA OUTLETS. PROVIDE A 3/4\"/>

LIGHTING FIXTURE SCHEDULE

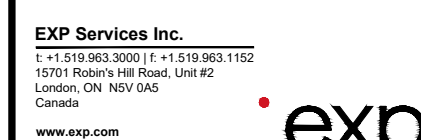
TYPE	DESCRIPTION	MOUNTING	INPUT WATTS	MANUFACTURER
A	2'-0" x 4'-0" FLAT PANEL LED TROFFER WITH EXTRUDED ALUMINUM HOUSING, ACRYLIC DIFFUSER, FLAT OPAL LENS & 0-10V, 1% DIMMING <ul style="list-style-type: none">- 5038LM- 3500K, 80 CRI- 120W	RECESSED	40W	LITHONIA #CPX 2 x 4 SERIES SIGNIFY #2SBP SERIES CURRENT LIGHTING #CBT24 SERIES COOPER #CGTX SERIES OR APPROVED EQUAL
B	2'-0" x 4'-0" FLAT PANEL LED TROFFER WITH EXTRUDED ALUMINUM HOUSING, ACRYLIC DIFFUSER & FLAT OPAL LENS <ul style="list-style-type: none">- 5873LM- 3500K, 80 CRI- 120W	RECESSED	44W	LITHONIA #CPX 2 x 4 SERIES SIGNIFY #2SBP SERIES CURRENT LIGHTING #CBT24 SERIES COOPER #CGTX SERIES OR APPROVED EQUAL
C	2" x 8'-0" LED LENSED STRIP FIXTURE WITH STEEL HOUSING, FROSTED ACRYLIC DIFFUSER & WHITE BAKED ENAMEL FINISH <ul style="list-style-type: none">- 7500LM- 3500K, 80 CRI- 120W	SUSPENDED AT 12" A.F.F.	60W	LITHONIA #TZ1D SERIES OR APPROVED EQUAL
D	4'-0" LINEAR ARCHITECTURAL LED TRACK LIGHTING FIXTURE CW/ PHASE DIMMING AND WIDE DISTRIBUTION <ul style="list-style-type: none">- 3800LM/HEAD- 3500K, 80 CRI- 120W	WALL MOUNTED	43W	JUNO #T286L SERIES OR APPROVED EQUAL

GENERAL NOTES:

1. PROVIDE NEW LED LIGHT FIXTURES IN LOCATIONS SHOWN ON THIS DRAWING. REFER TO LIGHT FIXTURE SCHEDULE FOR DETAILS.
2. PROVIDE ALL THE REQUIRED ACCESSORIES. ADDITIONAL WIRING AND CONDUIT, BACK BOXES FOR A COMPLETE INSTALLATION OF LIGHTING FIXTURES. REFER TO THE LIGHTING FIXTURE SCHEDULE FOR MORE DETAILS.
3. COORDINATE ALL LIGHT FIXTURE LOCATIONS WITH NEW HVAC LAYOUT, OTHER TRADES AND ANY BULKHEADS. COORDINATE WITH FINAL ARCHITECTURAL AND MECHANICAL DRAWINGS. PROVIDE DRY-WALL, SURFACE, OR T-BAR MOUNTING KIT AS REQUIRED TO SUIT THE CEILING GAP AND MAINTAIN ADEQUATE CLEARANCE FOR FIXTURE VENTILATION.
4. ALL LIGHTING FIXTURES SHALL BE SUPPORTED BY APPROVED CHAINS WHICH SHALL ALLOW THE FIXTURES TO BE SUPPORTED INDEPENDENT OF THE CEILING SYSTEM.

DRAWING NOTES:

1. ELECTRICAL CONTRACTOR TO CONFIRM EXISTING LIGHTING VOLTAGE AND EXISTING CONTROL SYSTEM PRIOR TO STARTING ANY WORK. PROVIDE NEW LINE VOLTAGE CONTROLS, AND LIGHTING ZONING AS INDICATED ON THE DRAWINGS. CONFIRM LIGHTING ZONING WITH THE SCHOOL BOARD'S FACILITY MANAGEMENT TEAM PRIOR TO ANY INSTALLATIONS.
2. REUSE THE EXISTING LOCAL CIRCUITS IN THE AREA TO PROVIDE POWER TO THE NEW LIGHTING FIXTURES. MODIFY AND EXTEND THE EXISTING CIRCUITS AS REQUIRED TO SUIT THE NEW LIGHTING LAYOUT.
3. NEW LIGHTING REQUIRED FOR THE SOUND BOOTH AND GREEN SCREEN AREA SHALL BE CARRIED UNDER CASH ALLOWANCE. COORDINATE EXACT REQUIREMENTS WITH THE OWNER AND ARCHITECT. REFER TO DIVISION 1 SPECIFICATION REGARDING CASH ALLOWANCE.
4. EXISTING EMERGENCY LIGHTING AND EXIT SIGNAGE TO REMAIN.



EXP Project # 10N-230031-13-A-0

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LON-24003082-A-0

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FOREST HEIGHTS C.I. TECH SHOP REVITALIZATION

255 Fisher-Hallman Rd, Kitchener, Ontario N2M 4X8

DRAWING TITLE:
PARTIAL FLOOR PLAN -
DEMOLITION & NEW
LIGHTING

PROJECT NO:
A23018

DRAWN:
MP

CHECKED:
AM

DATE:
JAN. 30, 2025

SCALE:
E100

DRAWING NO.:

DEMOLITION NOTES

D1. DISCONNECT AND REMOVE THE EXISTING POWER, SYSTEM DEVICES AND EQUIPMENT UNLESS INDICATED OTHERWISE. CONFIRM THE EXTENT OF ELECTRICAL DEVICE DEMOLITION WITH THE ARCHITECT AND OWNER PRIOR TO ANY WORK. REMOVE ALL CONDUCTOR AND ACCESSIBLE CONDUIT ALL THE WAY BACK TO THE SOURCE. DISCONNECT CIRCUIT BREAKERS/SWITCHES FOR REMOVED EQUIPMENT AND MARK AS "SPARE".

<p><u>GENERAL NOTES:</u></p> <ol style="list-style-type: none"> 1. FIRE ALARM DEVICES TO BE INSTALLED PER CANULC-5524, "INSTALLATION OF FIRE ALARM SYSTEMS". 2. PROVIDE FIRE ALARM VERIFICATION FOR ALL NEW OR EXISTING MODIFIED FIRE ALARM DEVICES. VERIFICATION OF FIRE ALARM DEVICES IS TO BE PERFORMED PER CANULC-5537, "VERIFICATION OF FIRE ALARM SYSTEMS." 3. CONTROLLED RECEPTACLES WITHIN THE CLASSROOMS SHALL BE CONTROLLED THROUGH LIGHTING OCCUPANCY SENSOR. CONTROLLED RECEPTACLES SHALL BE PERMANENTLY MARKED RECEPTACLES FOR AUTOMATIC OUTLET CONTROL, LABELED "CONTROLLED". RECEPTACLES SHALL BE DECORA STYLE, GREEN IN COLOUR WITH BOTH FACES CONTROLLED; HUBBELL #D1R52G2N OR APPROVED EQUAL. 4. RECEPTACLES RATED 15A OR 20A AND LOCATED LOWER THAN 6'-6" FROM THE FINISHED FLOOR IN ALL 	<p>CLASSROOMS, WASHROOMS, CORRIDORS, STORAGE AND OFFICE AREAS SHALL BE TAMPER-RESISTANT AS PER OESC 26-706.</p> <ol style="list-style-type: none"> 5. INSTALL NEW RECEPTACLES SURFACE MOUNTED ON THE EXISTING WALL. CONDUIT FOR RECEPTACLE CAN BE SURFACE MOUNTED ON THE CONCRETE BLOCK WALLS, UP TO THE CEILING SPACE WITHIN THE CLASSROOMS. OTHERWISE CONDUITS SHALL BE RUN CONCEALED IN THE WALL OR CEILING SPACE. COORDINATE EXACT REQUIREMENTS WITH THE OWNER AND ARCHITECT. <p><u>DRAWING NOTES:</u></p> <ol style="list-style-type: none"> 1. PROVIDE NEW FIRE ALARM ZONES, CIRCUITS AND ALL REQUIRED PROVISIONS FOR THE NEW OR MODIFIED FIRE ALARM DEVICES FROM THE EXISTING FIRE ALARM CONTROL PANEL INDICATED ON THE KEY PLAN. COORDINATE EXACT REQUIREMENTS WITH THE SUPPLIER. 2. PROVIDE NEW PA SPEAKERS, WIRING AND ALL REQUIRED PROVISIONS TO THE NEW DEVICES FROM
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1. PROVIDE NEW FIRE ALARM ZONES, CIRCUITS AND ALL REQUIRED PROVISIONS FOR THE NEW OR MODIFIED FIRE ALARM DEVICES FROM THE EXISTING FIRE ALARM CONTROL PANEL INDICATED ON THE KEY PLAN. COORDINATE EXACT REQUIREMENTS WITH THE SUPPLIER.
2. PROVIDE NEW PA SPEAKERS, WIRING AND ALL REQUIRED PROVISIONS TO THE NEW DEVICES FROM

<p>THE EXISTING PUBLIC ADDRESS SYSTEM CONTROL PANEL. ANY WORK RELATED TO THE PA SYSTEM SHALL BE UNDER CASH ALLOWANCE. REFER TO DIVISION 1 SPECIFICATIONS FOR MORE DETAILS.</p>	<p>OUTLETS. PROVIDE A 3/4" CONDUIT FROM OUTLET BOX UP TO THE CEILING SPACE. PROVIDE NEW J-HOOKS AND PROVIDE ADEQUATE SUPPORT FOR THE HORIZONTAL CABLING IN THE CEILING SPACE. J-HOOK SPACING SHALL BE A MAXIMUM OF 5'. DATA CABLING TO BE UNDER CASH ALLOWANCE. COORDINATE EIGHT REQUIREMENTS WITH THE OWNER AND GC.</p>
<p>3. PROVIDE 120V ELECTRICAL CONNECTIONS, RACEWAY, JUNCTION BOXES AND ALL REQUIRED ACCESSORIES FOR THE CONTROLS WIRING TO THE MECHANICAL EQUIPMENT. WIRING TO BE PROVIDED BY CONTROLS CONTRACTOR. COORDINATE EIGHT REQUIREMENTS WITH THE CONTROLS AND MECHANICAL TRADE CONTRACTORS.</p>	<p>6. PROVIDE A WALL MOUNTED 2-CHANNEL, NON-METALLIC RACEWAY SYSTEM FOR THE NEW POWER AND DATA PROVISIONS. PROVIDE NEW RECEPTACLES AND DATA OUTLETS AS SHOWN, IN THE NEW WALL MOUNTED RACEWAY. RACEWAY SHALL BE WIREMOLD 5500 SERIES OR APPROVED EQUAL. COORDINATE COLOUR AND FINISH WITH THE ARCHITECT AND OWNER.</p>
<p>4. RELOCATE THE EXISTING PA SPEAKERS AS SHOWN ON THE DRAWING. MODIFY AND EXTEND THE EXISTING WIRING AND ALL REQUIRED PROVISIONS TO THE RELOCATED DEVICES. ANY WORK RELATED TO THE PA SYSTEM SHALL BE UNDER CASH ALLOWANCE. REFER TO DIVISION 1 SPECIFICATIONS FOR MORE DETAILS.</p>	<p>7. PROVIDE POWER TO THE NEW RECEPTACLES FROM THE EXISTING LOCAL RECEPTACLES CIRCUITS IN THE EXISTING PANELS INDICATED IN EACH ROOM. PROVIDE 120V, 15A RATED 1PH CIRCUITS TO THE NEW RECEPTACLES. A MAXIMUM OF FOUR RECEPTACLES SHALL BE ALLOWED FOR EACH</p>
<p>5. PROVIDE PATHWAY, OUTLET BOX AND ALL REQUIRED ACCESSORIES FOR THE NEW DATA</p>	

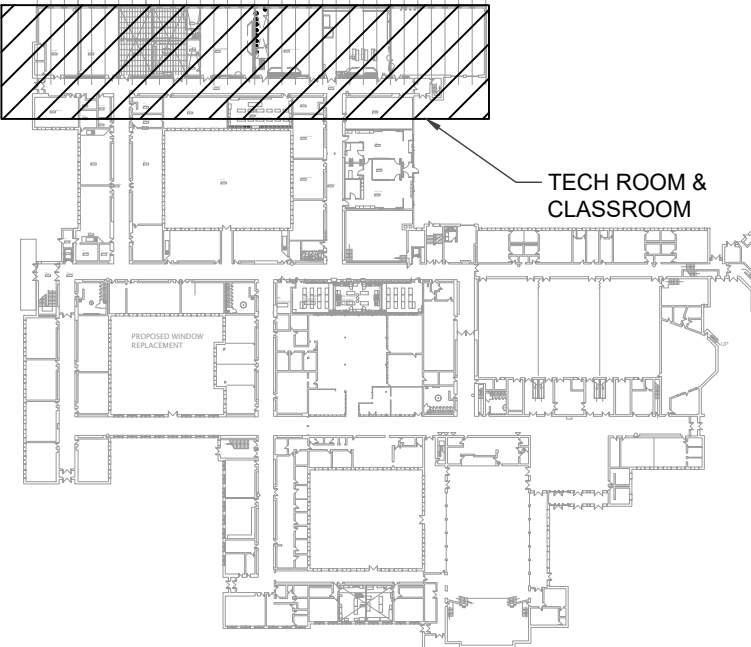
- OUTLETS. PROVIDE A 3/4" CONDUIT FROM OUTLET BOX UP TO THE CEILING SPACE. PROVIDE NEW J-HOOKS AND PROVIDE ADEQUATE SUPPORT FOR THE HORIZONTAL CABLING IN THE CEILING SPACE. J-HOOK SPACING SHALL BE A MAXIMUM OF 5'. DATA CABLES TO BE PROVIDED UNDER CASH ALLOWANCE. COORDINATE EXIST REQUIREMENTS WITH THE OWNER AND GC.
6. PROVIDE A WALL MOUNTED, 2-CHANNEL, NON-METALLIC RACEWAY SYSTEM FOR THE NEW POWER AND DATA PROVISIONS. PROVIDE NEW RECEPTACLES AND DATA OUTLETS AS SHOWN, IN THE NEW WALL MOUNTED RACEWAY. RACEWAY SHALL BE WIREMOLD 5500 SERIES OR APPROVED EQUAL. COORDINATE COLOUR AND FINISH WITH THE ARCHITECT AND OWNER.
7. PROVIDE POWER TO THE NEW RECEPTACLES FROM THE EXISTING LOCAL RECEPTACLES CIRCUITS IN THE EXISTING PANELS INDICATED IN EACH ROOM. PROVIDE NOV. 15A CIRCUIT BREAKERS TO THE NEW RECEPTACLES. A MAXIMUM OF FOUR RECEPTACLES SHALL BE ALLOWED FOR EACH

CIRCUIT. PROVIDE NEW 120V, 15A, 1P BREAKERS AS REQUIRED. NEW BREAKER KAIC RATING TO MATCH THE EXISTING PANEL RATING.

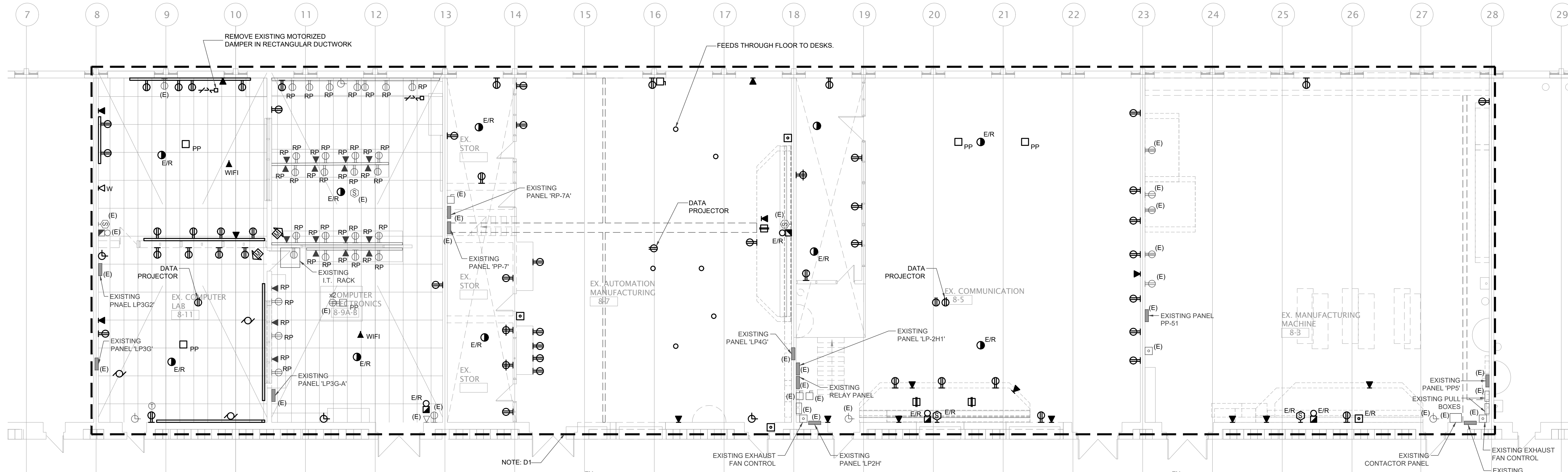
8. NEW ELECTRICAL AND SYSTEMS PROVISIONS REQUIRED FOR THE SOUND BOOTH AND GREEN SCREEN AREA SHALL BE CARRIED UNDER CASH ALLOWANCE. COORDINATE EXACT REQUIREMENTS WITH THE OWNER AND ARCHITECT. REFER TO DIVISION 1 SPECIFICATION REGARDING CASH ALLOWANCE.

CIRCUIT. PROVIDE NEW 120V, 15A, 1P BREAKERS AS REQUIRED. NEW BREAKER KAIC RATING TO MATCH THE EXISTING PANEL RATING.

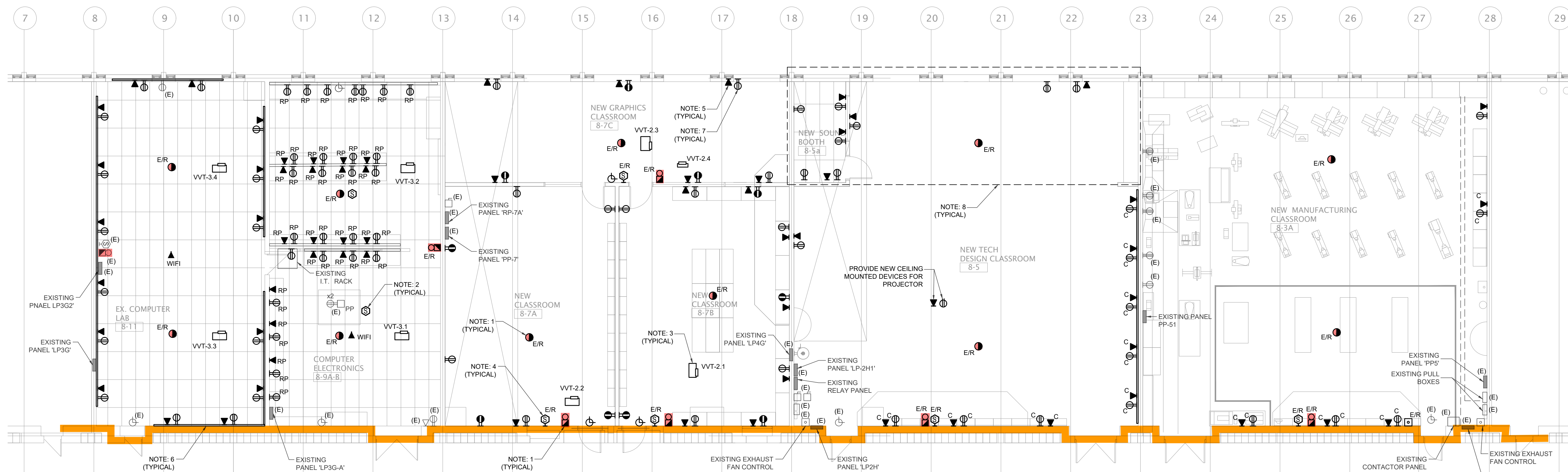
8. NEW ELECTRICAL AND SYSTEMS PROVISIONS REQUIRED FOR THE SOUND BOOTH AND GREEN SCREEN AREA SHALL BE CARRIED UNDER CASH ALLOWANCE. COORDINATE EXACT REQUIREMENTS WITH THE OWNER AND ARCHITECT. REFER TO DIVISION 1 SPECIFICATION REGARDING CASH ALLOWANCE.



SCALE - NTS



SCALE - 1:100



SCALE - 1:100

NO EAR PROTECTION AS THERE ARE NO STROBES AS PER OBC 3.2.4.20.(7)(B)(i).

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BE CHECKED AND VERIFIED ON THE JOB. ALL
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GENERAL NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE, LATEST EDITION, AND ALL OTHER ACTS AUTHORIZED BY ALL AUTHORITIES HAVING JURISDICTION.
2. THESE DRAWINGS TO BE READ IN CONNECTION WITH ALL OTHER CONTRACT DOCUMENTS, AND SPECIFICATIONS.
3. THE DESIGN LOADS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
4. ALL DIMENSIONS, SHOWN ON THE DRAWINGS, SHALL BE CHECKED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
5. THE STABILITY OF THE STRUCTURAL FRAME SHALL BE MAINTAINED THROUGH THE FULL INTERACTION OF ALL STRUCTURAL COMPONENTS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING DURING CONSTRUCTION.
6. ALL DIMENSIONS GIVEN ARE IN METRIC.



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The EXP logo consists of a red dot followed by the lowercase letters "exp" in a bold, sans-serif font.

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**FOREST HEIGHTS C.I.
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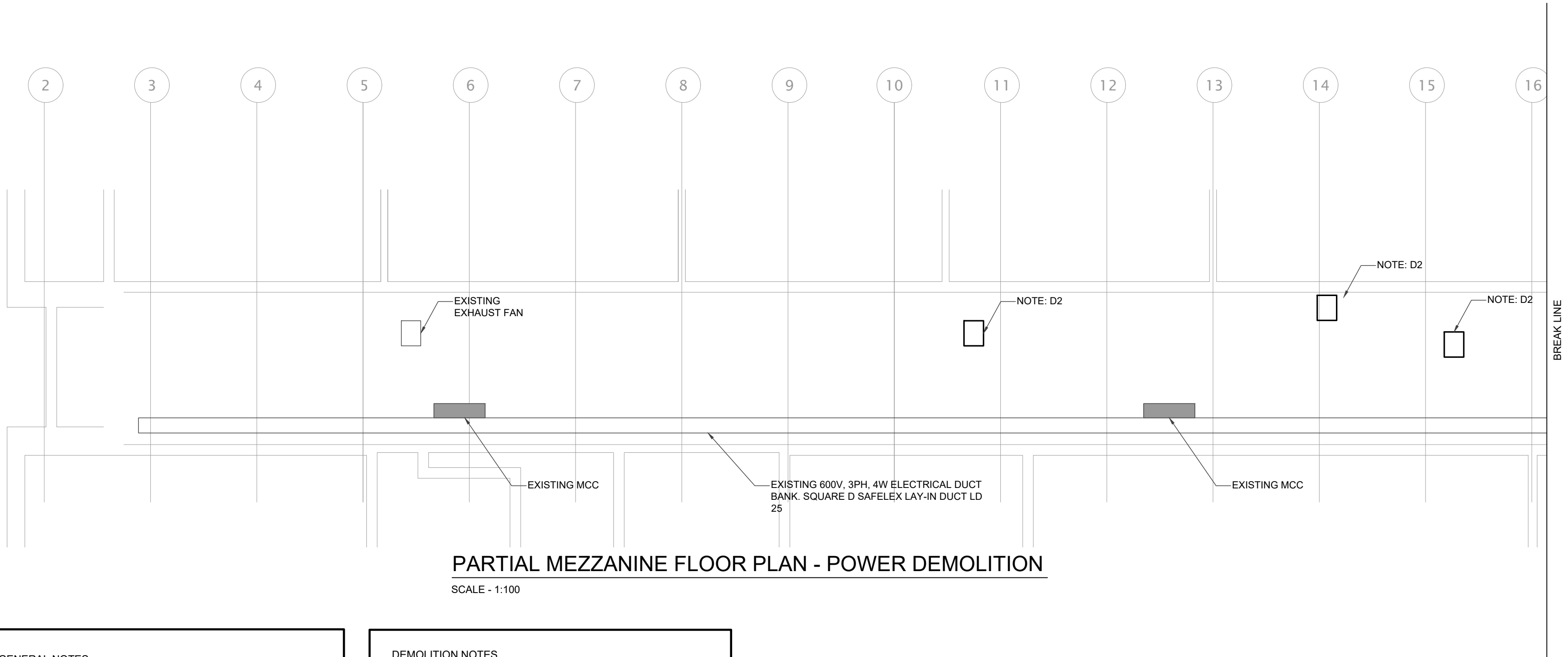
255 Fisher-Hallman Rd,
Kitchener, Ontario
N2M 4X8

DRAWING TITLE:
PARTIAL FLOOR PLAN -
DEMOLITION & NEW
POWER

PROJECT NO: A23018	SCALE:
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DRAWN:	DRAWING NO:
MP	
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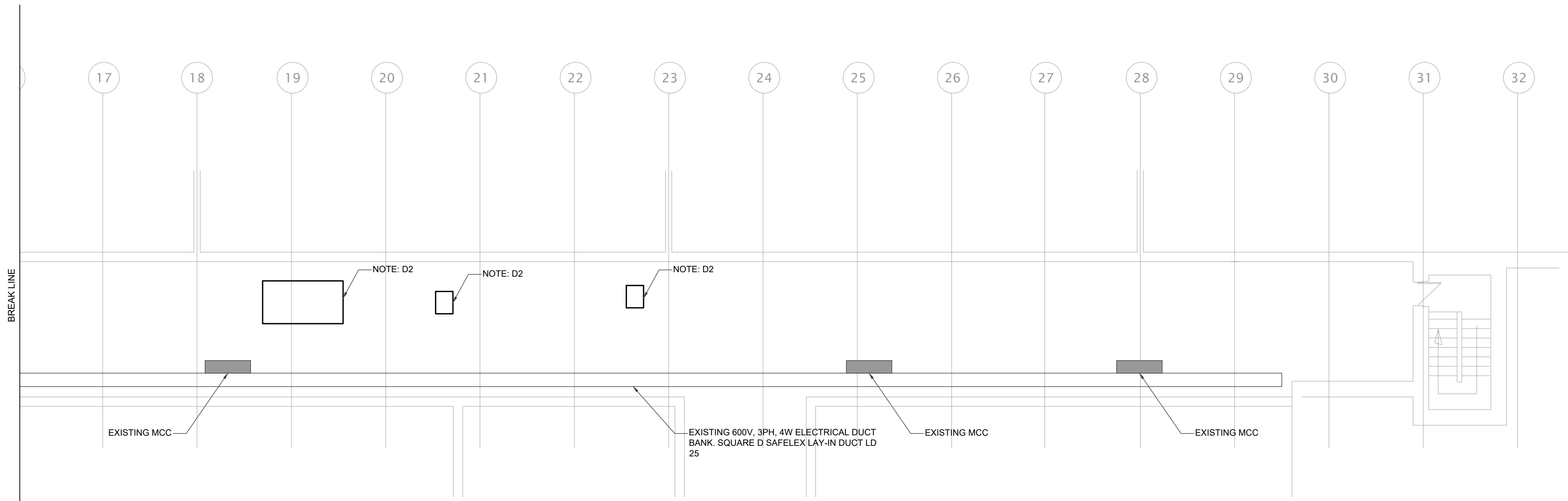
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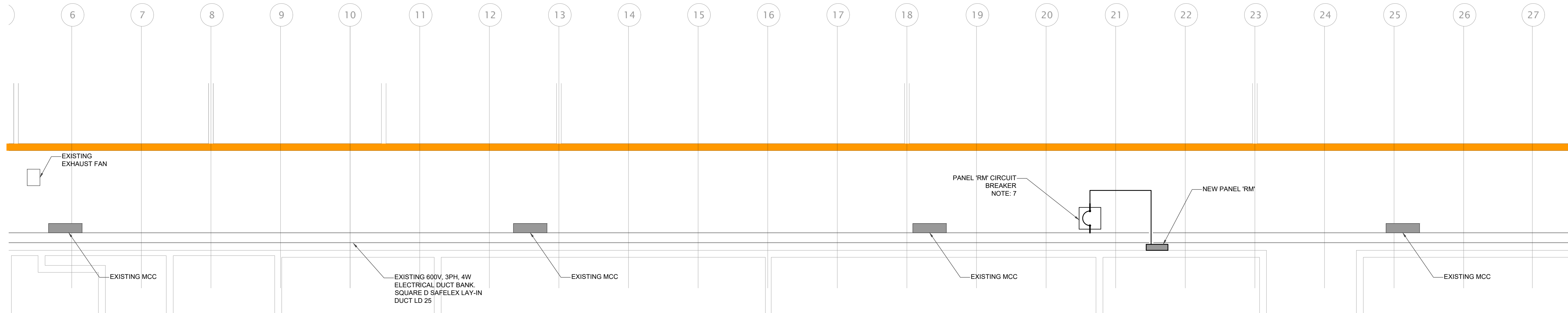
PARTIAL MEZZANINE FLOOR PLAN - POWER DEMOLITION
SCALE - 1:100

- GENERAL NOTES:**
- LOW VOLTAGE WIRING FOR HVAC EQUIPMENT CONTROLS SHALL BE PROVIDED BY THE CONTROLS CONTRACTOR. DIVISION 26 IS RESPONSIBLE FOR PROVIDING PATHWAYS AND 120V CONNECTIONS WHERE NEEDED. COORDINATE EXACT REQUIREMENTS AND LOCATION WITH THE CONTROLS AND MECHANICAL CONTRACTOR.
- DRAWING NOTES:**
- RECEPTACLES RATED 15A OR 20A AND LOCATED LOWER THAN 8'-6" FROM THE FINISHED FLOOR IN ALL CLASSROOMS, WASHROOMS, CORRIDORS, STORAGE AND OFFICE AREAS SHALL BE TAMPER-RESISTANT AS PER OESC 26-706.
 - PROVIDE 120V, 15A RATED, 1PH CIRCUITS TO THE NEW RECEPTACLES FROM THE EXISTING PANELS INDICATED IN EACH ROOM. A MAXIMUM OF FOUR RECEPTACLES SHALL BE ALLOWED FOR EACH NEW CIRCUIT. PROVIDE NEW BREAKERS AS REQUIRED. NEW BREAKER KAIC RATING TO MATCH THE EXISTING PANEL RATING.
 - INSTALL NEW RECEPTACLES SURFACE MOUNTED ON THE EXISTING WALL. CONDUIT FOR RECEPTACLE CAN BE SURFACE MOUNTED ON THE CONCRETE BLOCK WALLS, UP TO THE CEILING SPACE WITHIN THE CLASSROOMS. OTHERWISE CONDUITS SHALL BE RUN CONCEALED IN THE WALL OR CEILING SPACE. COORDINATE EXACT REQUIREMENTS WITH THE OWNER AND ARCHITECT.
 - PROVIDE NEW CUSTOM BUS PLUG-IN KIT C/W AN ENCLOSED CIRCUIT BREAKER AND CONNECT TO THE EXISTING LAY-IN DUCT BANK IN THE MEZZANINE. REFER TO THE SINGLE LINE DIAGRAM ON DRAWING E301 FOR MORE DETAILS. NEW BUS PLUG-IN KIT AND BREAKER SHALL BE A COMPATIBLE WITH THE EXISTING SAFELEX LAY-IN DUCT LD 25.

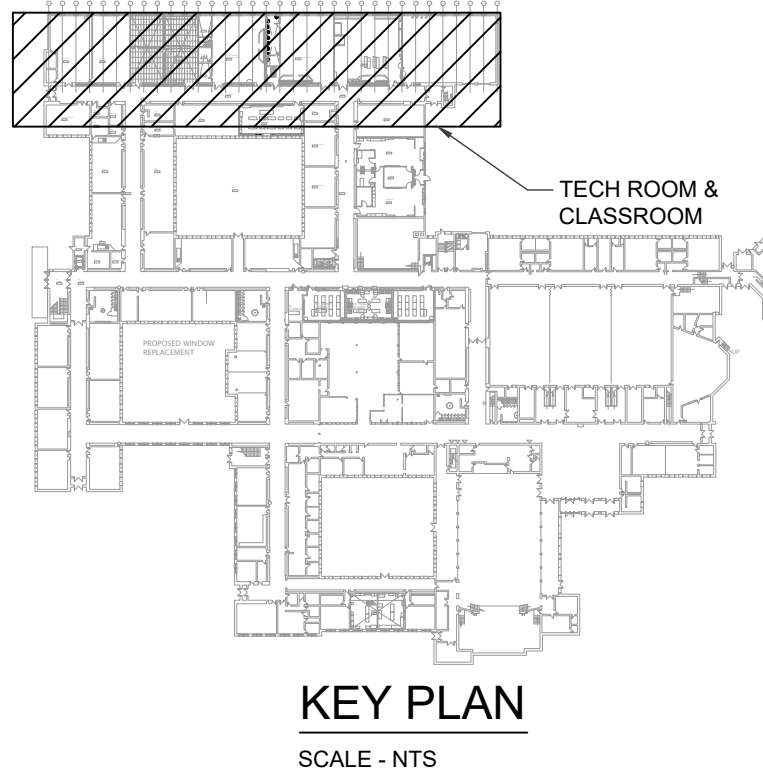
- DEMOLITION NOTES**
- D1. DISCONNECT AND REMOVE THE EXISTING ELECTRICAL DEVICES AND EQUIPMENT INDICATED ON THE DRAWINGS. CONFIRM THE EXTENT OF ELECTRICAL DEVICE DEMOLITION WITH THE ARCHITECT AND OWNER PRIOR TO ANY WORK. REMOVE ALL CONDUCTOR AND ACCESSIBLE CONDUIT AND DISCONNECT CIRCUIT BREAKERS/SWITCHES. REMOVE FROM ORIGINAL DIRECTORIES AND NOTE AS "SPARE".
- D2. DISCONNECT AND REMOVE THE EXISTING ELECTRICAL CONNECTIONS AND EQUIPMENT FOR THE EXISTING MECHANICAL UNITS THAT ARE TO BE REMOVED. CONFIRM EXTENT OF DEMOLITION WITH THE GC AND OWNER PRIOR TO ANY WORK. REMOVE ALL CONDUCTOR AND ACCESSIBLE CONDUIT AND DISCONNECT CIRCUIT BREAKERS/SWITCHES. REMOVE FROM ORIGINAL DIRECTORIES AND NOTE AS "SPARE".



PARTIAL MEZZANINE FLOOR PLAN - POWER DEMOLITION
SCALE - 1:100



PARTIAL MEZZANINE PLAN - NEW POWER
SCALE - 1:100



NO.	DATE	REVISION
2	25.01.30	ISSUED FOR TENDER
1	25.01.07	ISSUED FOR OWNER'S REVIEW

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB. ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECTS.

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, LATEST EDITION, AND ALL OTHER ACTS ADMINISTERED BY ALL AUTHORITIES HAVING JURISDICTION.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, AND SPECIFICATIONS.
- THE DESIGN LOADS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
- ALL DIMENSIONS, SHOWN ON THE DRAWINGS, SHALL BE CHECKED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- THE STABILITY OF THE STRUCTURAL FRAME IS DEPENDENT ON THE FULL INTERACTION OF ALL STRUCTURAL COMPONENTS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING DURING CONSTRUCTION.
- ALL DIMENSIONS GIVEN ARE IN METRIC.

KITCHENER
PERMIT # 25 102581

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Exp Project # LON-230031-13-A-0

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Licensed Professional Engineer
A. MUKHERJEE
100503043
JAN 30, 2025
PROVINCE OF ONTARIO

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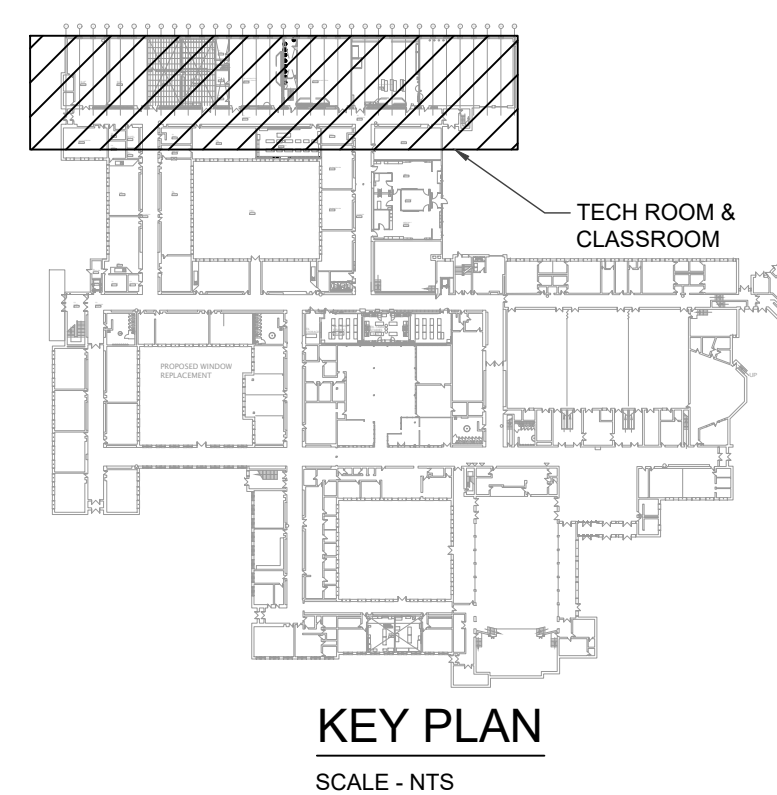
KITCHENER REGION DISTRICT SCHOOL BOARD

FOREST HEIGHTS C.I. TECH SHOP REVITALIZATION
255 Fisher-Hallman Rd,
Kitchener, Ontario
N2M 4X8

DRAWING TITLE:
PARTIAL FLOOR PLAN - DEMOLITION & NEW POWER

PROJECT NO:	SCALE:
A23018	
DRAWN:	DRAWING NO:
YG	
CHECKED:	
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DATE:	
JAN. 30, 2025	

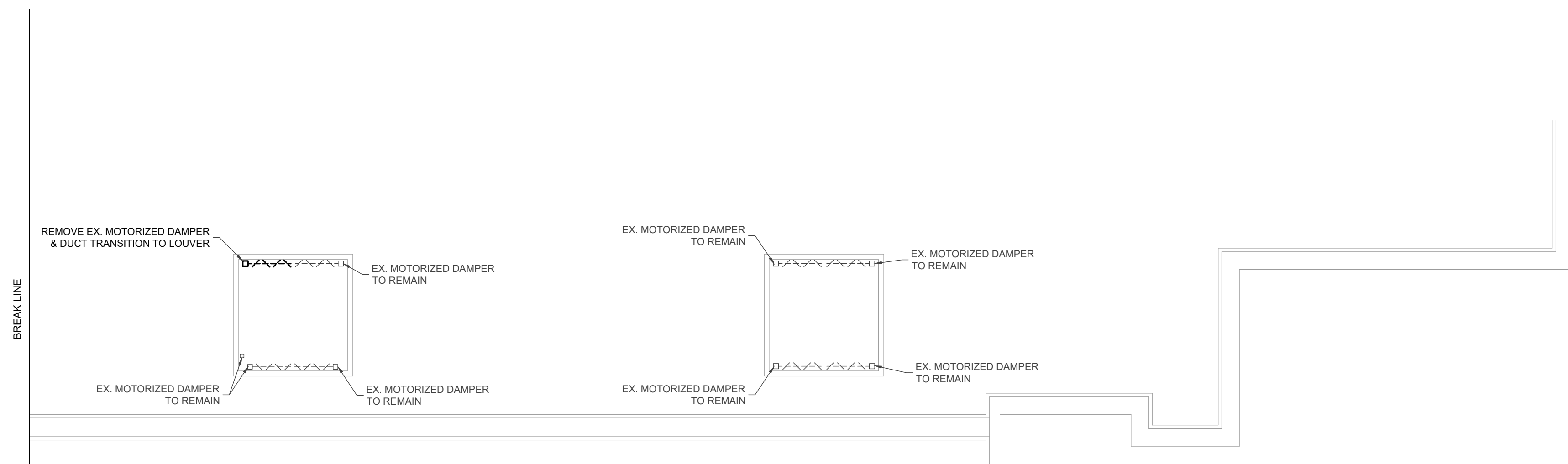
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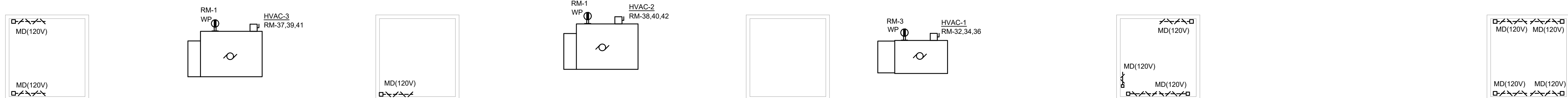
SCALE - 1:100

1. CONTROLLED RECEPTACLES WITHIN THE CLASSROOMS SHALL BE CONTROLLED THROUGH OCCUPANCY SENSOR AS DETAILED ON DRAWING E100A. CONTROLLED RECEPTACLES SHALL BE PERMANENTLY MARKED RECEPTACLES FOR AUTOMATIC OUTLET CONTROL, LABELED "CONTROLLED". RECEPTACLES SHALL BE DECORA STYLE, GREEN IN COLOUR WITH BOTH FACES CONTROLLED, HUBBELL #DR15C2GN OR APPROVED EQUAL.
2. LOW VOLTAGE WIRING FOR HVAC EQUIPMENT CONTROLS SHALL BE PROVIDED BY THE CONTROLS CONTRACTOR. DIVISION 26 IS RESPONSIBLE FOR PROVIDING PATHWAYS AND PIVOT CONNECTIONS WHERE NEEDED. COORDINATE EAC REQUIREMENTS AND LOCATION WITH THE CONTROLS AND MECHANICAL CONTRACTOR.

1. DISCONNECT AND REMOVE THE EXISTING ELECTRICAL DEVICES AND EQUIPMENT INDICATED ON THE DRAWINGS. CONFIRM THE EXTENT OF ELECTRICAL DEVICE DEMOLITION WITH THE ARCHITECT AND OWNER PRIOR TO ANY WORK. REMOVE ALL CONDUCTOR AND ACCESSIBLE CONDUIT AND DISCONNECT CIRCUIT BREAKERS/SWITCHES. REMOVE FROM ORIGINAL DIRECTORIES AND NOTE AS "SPARE".



SCALE - 1:100



SCALE - 1:100

DO NOT SCALE DRAWINGS. ALL DIMENSIONS
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DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECT

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4. ALL DIMENSIONS, SHOWN ON THE DRAWINGS, SHALL BE CHECKED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
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6. ALL DIMENSIONS GIVEN ARE IN METRIC.



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DIP Project # LON-23003 | G3-A0

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FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION

255 Fisher-Hallman Rd,
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DRAWING TITLE:
PARTIAL FLOOR PLAN -
DEMOLITION & NEW
POWER

PROJECT NO:

A23018

DRAWN:

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CHECKED:

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DATE: JAN 30

SCALE

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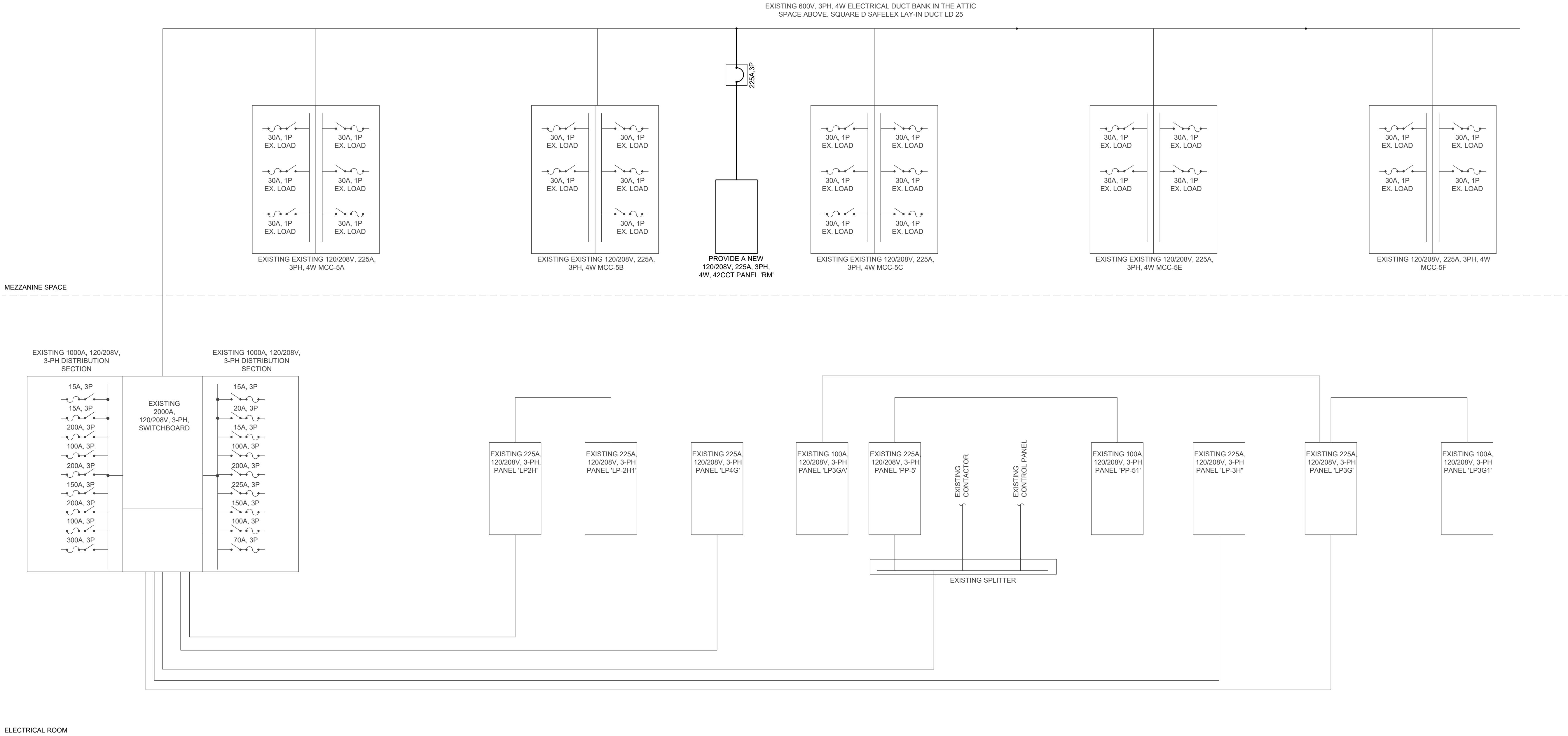
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E202



ELECTRICAL RISER DIAGRAM

SCALE - 1:100

NOTES:

1. NEW ELECTRICAL CIRCUIT BREAKER, PANEL AND EQUIPMENT SHALL BE RATED FOR A MINIMUM KAIC RATING TO MATCH THE EXISTING UPSTREAM EQUIPMENT.

NO	DATE	REVISION
2	25.01.30	ISSUED FOR TENDER
1	25.01.07	ISSUED FOR OWNERS REVIEW

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB. ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECTS.

GENERAL NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, LATEST EDITION, AND ALL OTHER ACTS ADMINISTERED BY ALL AUTHORITIES HAVING JURISDICTION.
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6. ALL DIMENSIONS GIVEN ARE IN METRIC.



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DP Project # LON-230031-C3-A0

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FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION
255 Fisher-Hallman Rd,
Kitchener, Ontario
N2M 4X8

DRAWING TITLE:
**ELECTRICAL RISER
DIAGRAM**

PROJECT NO:

A23018

DRAWN:

YG

CHECKED:

AM

DATE:

JAN. 30, 2025

SCALE:

DRAWING NO:

E300

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GENERAL NOTES

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• INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •



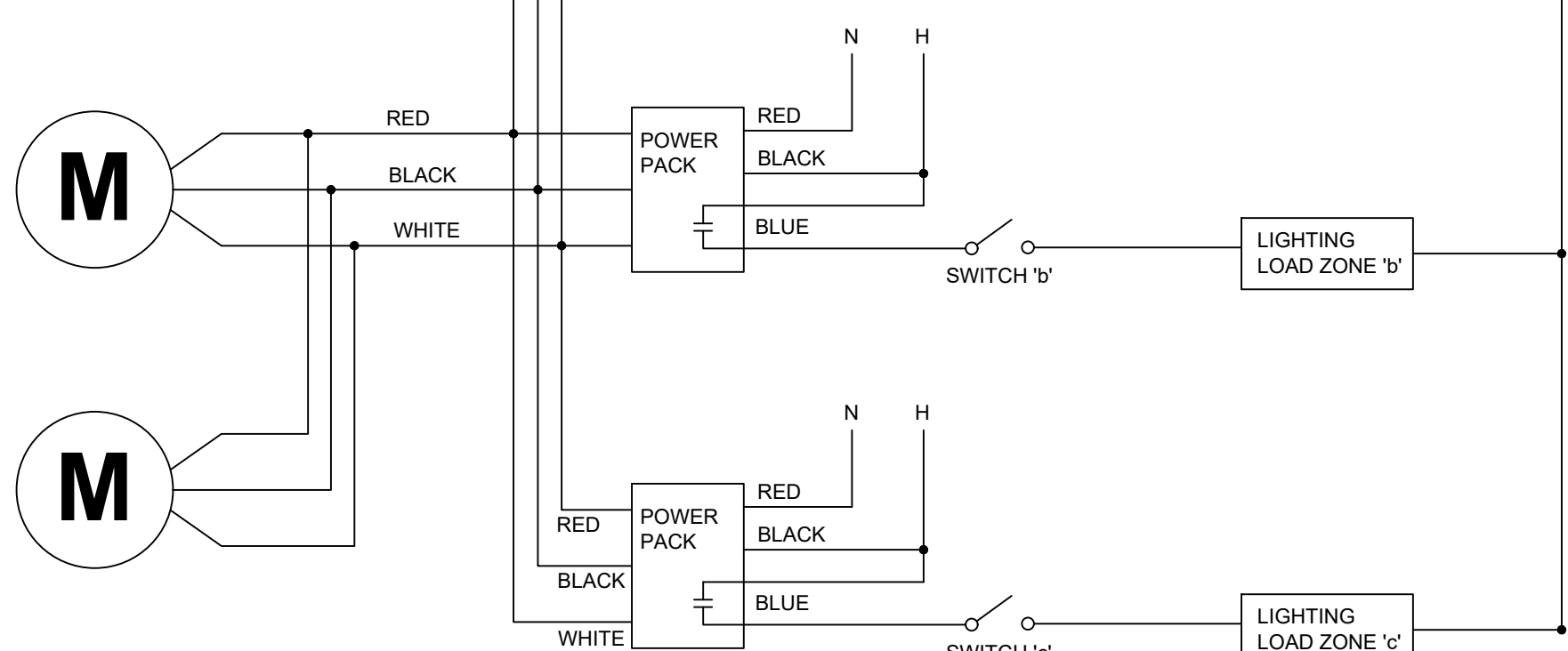
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**FOREST HEIGHTS C.I.
TECH SHOP REVITALIZATION**

255 Fisher-Hallman Rd,
Kitchener, Ontario
N2M 4X8

DRAWING TITLE:		<div style="font-size: 48pt; text-align: center;">E301</div>
ELECTRICAL SCHEDULES AND DETAILS		
PROJECT NO:	SCALE:	
A23018		
DRAWN:	DRAWING NO:	
YG		
CHECKED:		
AM		
DATE:		
JAN. 30, 2025		



SCALE - NTS



SCALE - NTS

CB OPT: ST - SHUNT TRIP	PHASE TOTALS	KVA	AMPS
AF - ARC FAULT CIRCUIT INTERRUPTER	PHASE-A	19.8	165.0
GF - GROUND FAULT CIRCUIT INTERRUPTER	PHASE-B	19.8	165.0
FR - 100% RATED	PHASE-C	20.6	171.7
L - LOCKABLE			
	TOTAL CONNECTED	60.2	167.1