



Stelco Tower
6th Floor Interior Demolition & Abatement

First Real Properties Ltd.
100 King Street West
Hamilton, Ontario, L8P 1A2, Canada

dpai Project # 12509

Issued for Tender
July 3rd, 2025

D P A I

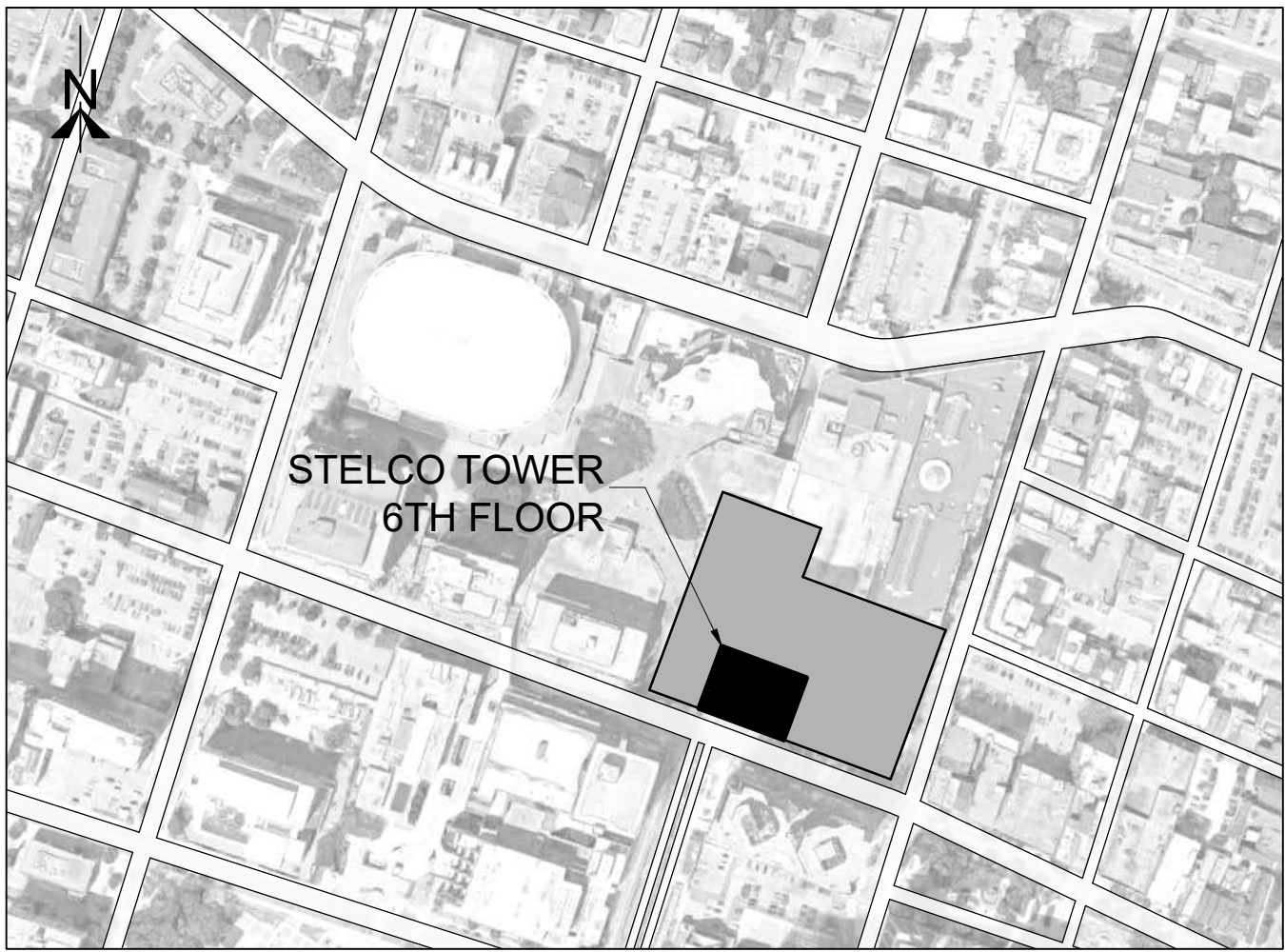
Design Partners in
Architecture and Interiors

25 Main Street West
Hamilton, Ontario
L8P 1H1 Canada
T: 905 522 0220

Mechanical & Electrical Engineer - CK Engineering Inc.
2400 Industrial St, Burlington, ON. L7P 1A5
T: (905) 631-1115



Site Key Plan



Drawing Index:

Architectural	
Drawing No.	Drawing Title
A00.00	Cover Sheet
A00.01	General Notes, Drawing Index, Key Plan, OBC Matrix, and Life Safety Plan.
A02.01	6th Floor Interior Demolition Plan
A02.02	6th Floor Interior Demolition Reflected Ceiling Plan
Mechanical	
Drawing No.	Drawing Title
M0.01	Mechanical Specifications, Mechanical Legend, Drawing List
M0.02	Mechanical Details
M1.01	6th Floor HVAC Demolition Layout
P1.01	6th Floor Plumbing Demolition Layout
M3.01	6th Floor Sprinkler Demolition Layout
Electrical	
Drawing No.	Drawing Title
E0.01	Specifications, Legends and Drawing List
E0.02	Legends, Abbreviations, Line Types and Partial Single Line Diagram Demolition.
E1.01	6th Floor Power and Systems Demolition Plan
E1.02	6th Floor Lighting and Life Safety Demolition Plan
E1.03	6th Floor New Lighting and Life Safety Plan



STELCO TOWER 6TH FLOOR
INTERIOR DEMOLITION
& ABATEMENT

100 KING ST. WEST
HAMILTON, ON L8P 4S6

D P A I

Design Partners in
Architecture and Interiors

25 Main Street West
Hamilton, Ontario
L8P 1H1

T: 905-522-0220

Drawings are not to be scaled.

Contractor must verify all dimensions on the job and report any discrepancy to architects before proceeding with the work.

All drawings and specifications are the property of the architect and must be returned at the completion of the work.

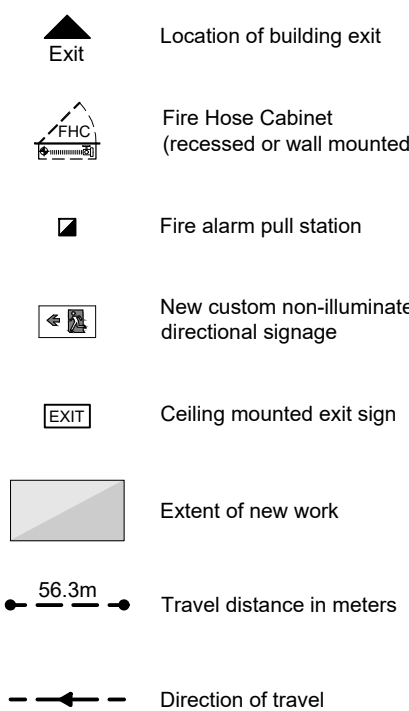
This drawing is not to be used for construction until countersigned. Date:

Seals



Fire and Life Safety Legend:

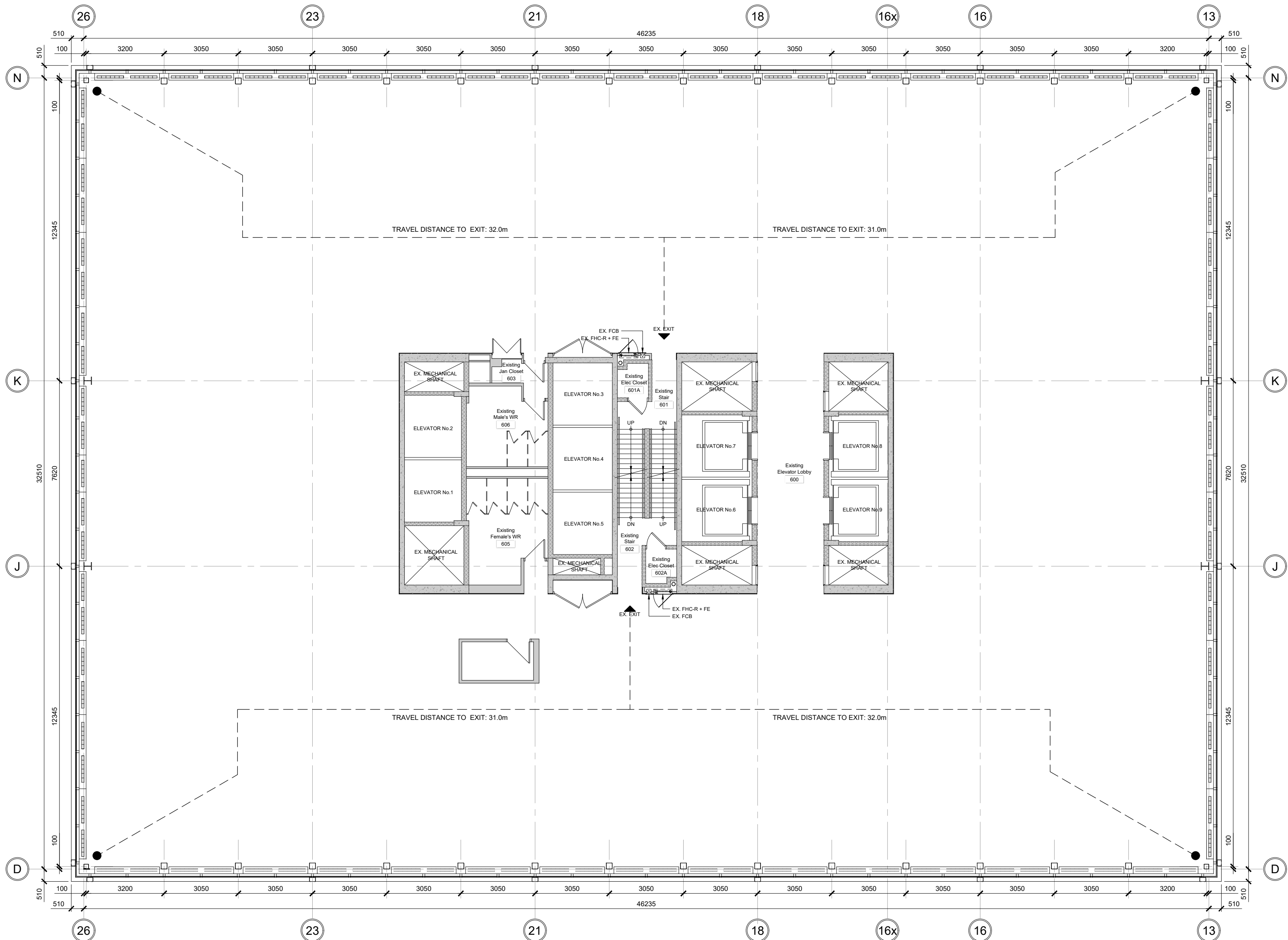
Note: Floor plans on this drawing are intended for travel distances only.



General Notes:

- Where existing surfaces to remain are disturbed by the removal of existing work or the installation of new work, make good all surfaces to match adjacent existing surfaces. Repaint existing painted surfaces complete to the nearest changes in plane.
- Unless otherwise noted, all dimensions are measured to finish face of gypsum wall board and face of existing wall where applicable.
- Unless otherwise noted, all grid lines are on centre of columns.
- Details illustrated herein are representative of the character, quality, and profiles required for the work. Conditions not covered by specific details are similar to those detailed.
- All fire-rated partitions to extend to the u/s of concrete slab, unless otherwise noted.
- Provide bracing, blocking, and/or reinforcement as required for all gypsum board partitions.
- Provide acoustic sealant at all perimeters of gypsum wallboard adjacent to all floors, walls, ceiling, or structure at each side of steel stud / runner.
- Provide blocking to accommodate all surface mounted and furred-in accessories and fixtures unless otherwise indicated.
- In ceiling spaces, mechanical and electrical to co-ordinate with finish ceiling height before installation of any mechanical or electrical work and provide interference documents and drawings.
- Wall access panels - where possible access panels in walls to be located on side walls or in location with minimal visual impact. Access panels to painted to match wall finish. All access panels to be keyed with the same lock.
- Provide steel reinforcing as required in all interior glazed screens (aluminum, wood, or hollow metal) to u/s of structure.
- Where exposed mechanical and/or electrical equipment such as fire extinguisher cabinets, electrical panels, cabinet heaters are indicated in the same wall, install equipment with vertical or horizontal centre lines aligned, as applicable unless otherwise noted.
- Where surfaces are to be painted as indicated in the room finish schedule, all exposed piping, conduit, etc. to be painted to match adjacent surface unless otherwise noted or required by code.

Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building				Building Code Reference
11.00	Building Code Version:	O. Reg. 163/24	Last Amendment:	O. Reg. 447/24
11.01	Project Type:	<input checked="" type="checkbox"/> Addition <input type="checkbox"/> Change of use	<input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation	[A] 1.1.2.
11.02	Major Occupancy Classification:	Description: OFFICE FLOOR SPACE INTERIOR DEMOLITION Occupancy D Use Business & Personal Services		3.1.2.1.(1)
11.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Description: D- Business & Personal Services	
11.04	Building Area (m ²)	Description: (AREA OF SCOPE OF WORK ONLY) Existing 1360m ² New 0 Total 1360m ²		[A] 1.4.1.2.
11.06	Number of Streets/ Firefighter Access	4 street(s)		3.2.2.10. & 3.2.5.
11.07	Building Size	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large	<input checked="" type="checkbox"/> > Large	T.11.2.1.1.B.-N.
11.08	Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change)		11.2.1.1.
11.09	Renovation Type:	<input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation		
11.10	Occupant Load	Floor Level/Area Occupancy Type	Based On Occupant Load (Persons)	3.1.17.
11.11	Plumbing Fixture Requirements	Ratio: Floor Level/Area Occupant Load	OBC Reference Fixtures Required Fixtures Provided N/A: No Change	3.7.4.
11.12	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Explanation: ALL RENOVATIONS MADE IN ACCORDANCE WITH 3.8	
11.13	Reduction in Performance Level:	Structural: By increase in occupant load: By change of major occupancy: Plumbing: Sewage systems: Extension of combustible construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.
11.14	Compensating Construction:	Structural: By increase in occupant load: By change of major occupancy: Plumbing: Sewage systems: Extension of combustible construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6. 11.4.3.7.
11.15	Compliance Alternatives	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		



6th Floor - Fire & Life Safety Plan

SCALE: NTS

02	ISSUED FOR TENDER	2025-07-03
01	ISSUED FOR PERMIT	2025-06-18
No.	Issues/Revisions	Date

Drawing Title:

General Notes,
Drawing Index, Key Plan,
OBC Matrix &
Fire & Life Safety Plan

Issue Date:	2025-07-03
Drawn by:	PN
Checked by:	PN
Project No.:	12509
Scale:	AS NOTED



Drawing No.:

A00.01

STELCO TOWER 6TH FLOOR
INTERIOR DEMOLITION
& ABATEMENT

100 KING ST. WEST
HAMILTON, ON L8P 4S6

D P A I

Design Partners in
Architecture and Interiors

25 Main Street West
Hamilton, Ontario
L8P 1H1
T: 905-522-0220

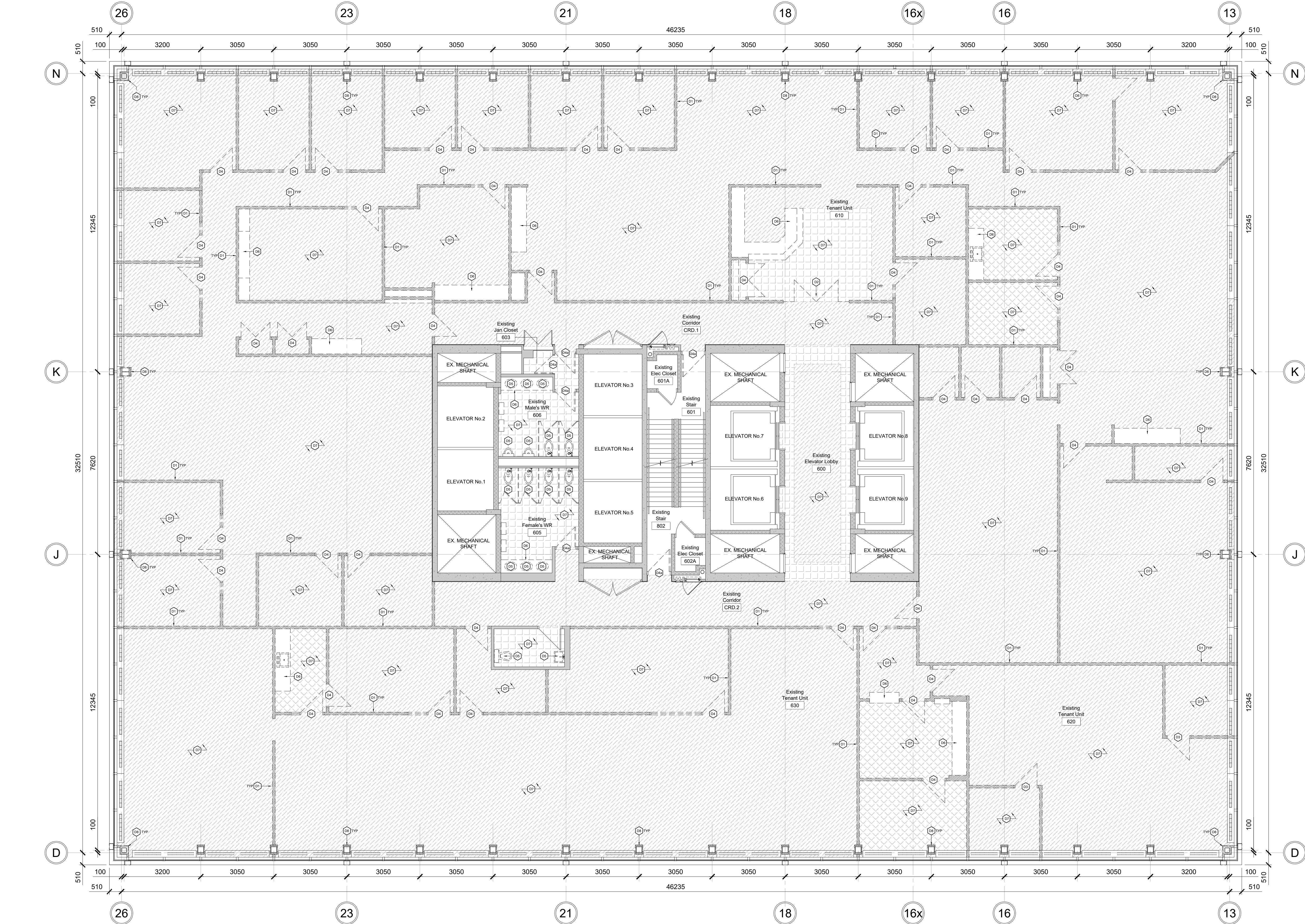
Drawings are not to be scaled.

Contractor must verify all dimensions on the job and report any discrepancy to architects before proceeding with the work.

All drawings and specifications are the property of the architect and must be returned at the completion of the work.

This drawing is not to be used for construction until countersigned.
Date:

Seals



DEMOLITION LEGEND

GENERAL DEMOLITION NOTES:

1. Refer to and coordinate demolition work with Mechanical and Electrical drawing packages. Notify Consultants of any interferences and/or conflicts prior to demolition.
2. Provide dust-tight hoarding partitions where indicated, seal all areas of construction to allow for all other floor areas to remain operational during construction.
3. GC to coordinate extent of demolition with mechanical and electrical. Any area not shown architectural which requires installation of new services is to be returned to original state to match existing.
4. General Contractor to review and coordinate disposal, salvage and/or storage of demolished items with Owner prior to commencement of Work.
5. GC to verify in field all existing measurements and conditions. Any discrepancies shall be brought to the project manager's attention prior to the end of tender closing.
6. All wall fixed items (speakers, bells, emergency phones, lights, signage, etc.), as well as ceiling mounted equipment are to remain unless otherwise indicated (refer to and coordinate w/ mechanical and electrical drawings). GC to ensure the protection of these items during demolition.
7. Remove all redundant power outlets and conduit to the nearest junction box & make safe. Refer to electrical drawings for additional information.
8. Provide temporary support for adjacent ceiling, light fixtures, diffusers, ceiling mounted devices, etc., as required for areas where ceilings are required to remain.
9. Remove all existing floor finishes (where applicable). Patch and repair slab including leveling and skim coats as required.
10. Patch and repair all adjacent surfaces to areas of demolition as required to match existing or ready for new finish.
11. Clean, patch, and repair all surfaces to remain as required for new finishes.

FLOOR PLAN DEMOLITION NOTES:

- D1 Existing gypsum board partition to be removed, including but not limited to all wall mounted devices, equipment, and associated services. (Refer to and coordinate with Mechanical/Electrical)
- D2 Existing Aluminum window frames & glazing to be removed and disposed of.
- D3 Existing Hollow Metal window frames & glazing to be removed and disposed of.
- D4 Existing Wood doors & frames to be removed and disposed of, including hardware and associated devices unless otherwise noted.
- D4a Existing Hollow metal doors & frames to be removed and disposed of, including hardware and associated devices unless otherwise noted.
- D5 Existing plumbing fixture to be removed, including but limited to associated services. Refer to and coordinate with Mechanical drawings for disconnect, removal and/or re-routing of existing services as required.
- D6 Existing millwork/shelving to be removed, including but limited to associated services. Refer to and coordinate with Mechanical/Electrical drawings for disconnect, removal and/or re-routing of existing services as required.
- D7 Existing floor finishes to be removed, including transition strips where applicable. Patch and level floors as required to receive new finishes.
- D8 Existing gypsum board column fire protection to be removed, including but not limited to all wall mounted devices, equipment, and associated services. (Refer to and coordinate with Mechanical/Electrical)
- D8 Reserved.

DEMO LEGEND & SYMBOLS:

- Denotes existing ceramic tile flooring to be removed. Patch, repair and level floors as required to receive new finishes.
- Denotes VCT flooring to be removed. Patch, repair and level floors as required to receive new finishes.
- Denotes Carpet flooring to be removed. Patch, repair and level floors as required to receive new finishes.
- Reserved.

ABATEMENT NOTES:

PRIOR TO COMMENCEMENT OF ANY DECONTAMINATION, ABATEMENT, REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS, REFER TO DESIGNATED SUBSTANCE SURVEYS, REPORTS AND SPECIFICATIONS PROVIDED BY OWNER.

GC TO COORDINATE WITH AND FOLLOW THE PROCEDURES OUTLINED THEREIN.

02	ISSUED FOR TENDER	2025-07-03
01	ISSUED FOR PERMIT	2025-06-18
No.	Issues/Revisions	Date

Drawing Title:

6th Floor
Interior Demolition
Floor Plan

Issue Date:		2025-07-03	
Drawn by:	PN	Checked by:	PN
Project No.:	12509	Scale:	1: 7



Drawing No.:

A02.01

STELCO TOWER 6TH FLOOR
INTERIOR DEMOLITION
& ABATEMENT

100 KING ST. WEST
HAMILTON, ON L8P 4S6

D P A I

Design Partners in
Architecture and Interiors

25 Main Street West
Hamilton, Ontario
L8P 1H1
T: 905-522-0220

Drawings are not to be scaled.

Contractor must verify all dimensions on the job and report any discrepancy to architects before proceeding with the work.

All drawings and specifications are the property of the architect and must be returned at the completion of the work.

This drawing is not to be used for construction until countersigned.
Date:

Seals



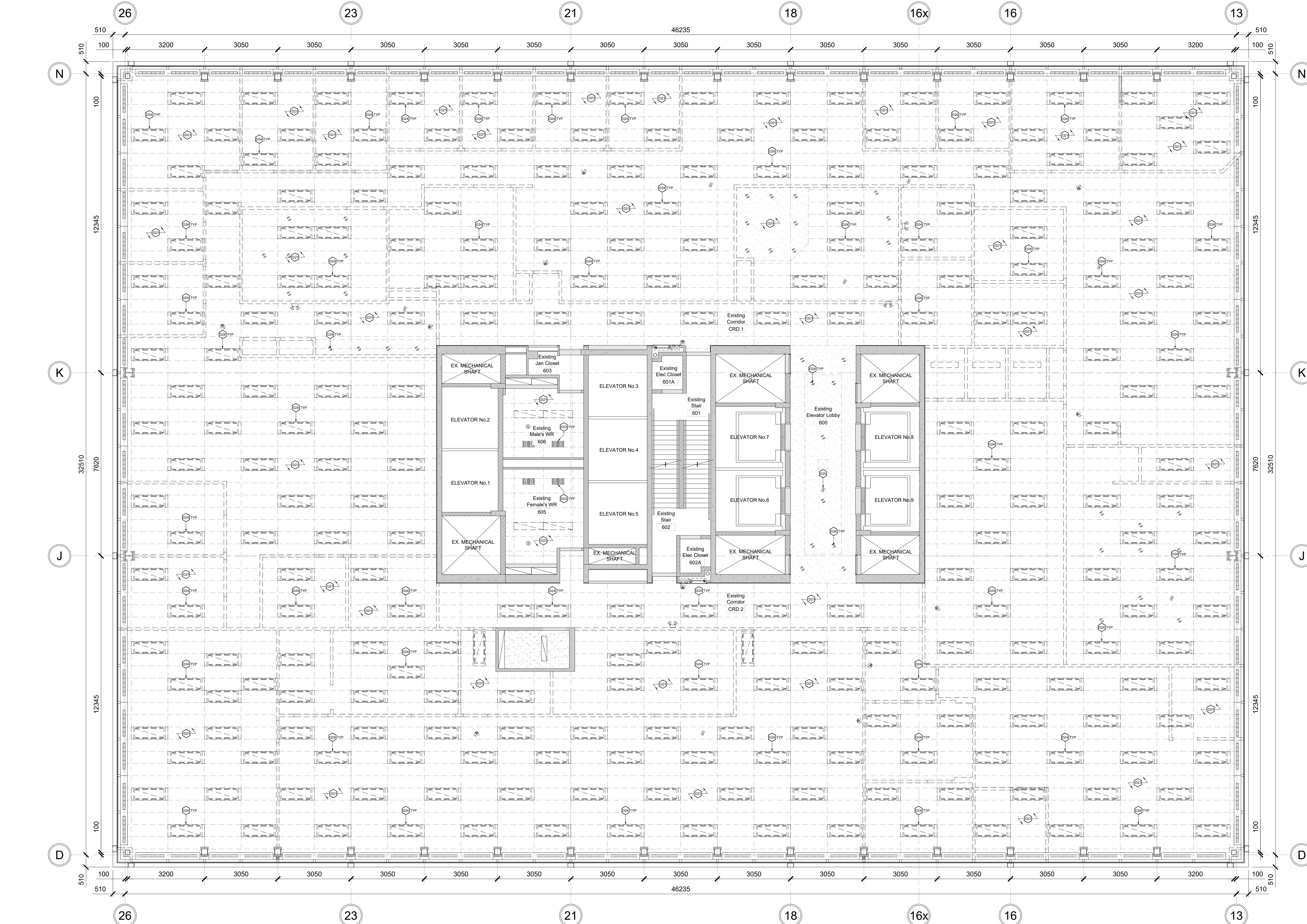
02	ISSUED FOR TENDER	2025-07-03
01	ISSUED FOR PERMIT	2025-06-18
No.	Issues/Revisions	Date
Drawing Title:		

8th Floor
Demolition
Reflected Ceiling Plan

Issue Date:		2025-07-03	
Drawn by:	PN	Checked by:	PN
Project No.:	12509	Scale:	1:75

GC TO COORDINATE WITH AND FOLLOW THE PROCEDURES OUTLINED THEREIN.

Drawing No.:
A02.02



DEMOLITION LEGEND

GENERAL DEMOLITION NOTES:

- Refer to and coordinate demolition work with Mechanical and Electrical drawing packages. Notify Consultants of any interferences and/or conflicts prior to demolition.
- Provide dust-tight hoarding partitions where indicated, seal all areas of construction to allow for all other floor areas to remain operational during construction.
- GC to coordinate extent of demolition with mechanical and electrical. Any area not shown architectural which requires installation of new services is to be returned to original state to match existing.
- General Contractor to review and coordinate disposal, salvage and/or storage of demolished items with Owner prior to commencement of Work.
- GC to verify in field all existing measurements and conditions. Any discrepancies shall be brought to the project manager's attention prior to the end of tender closing.
- All wall fixed items (speakers, bells, emergency phones, lights, signage, etc.), as well as ceiling mounted equipment are to remain unless otherwise indicated (refer to and coordinate w/ mechanical and electrical drawings). GC to ensure the protection of these items during demolition.
- Remove all redundant power outlets and conduit to the nearest junction box & make safe. Refer to electrical drawings for additional information.
- Provide temporary support for adjacent ceiling, light fixtures, diffusers, ceiling mounted devices, etc., as required for areas where ceilings are required to remain.
- Remove all existing floor finishes (where applicable). Patch and repair slab including leveling and skim coats as required.
- Patch and repair all adjacent surfaces to areas of demolition as required to match existing or ready for new finish.
- Clean, patch, and repair all surfaces to remain as required for new finishes.

REFLECTED CEILING PLAN DEMOLITION NOTES:

- D21 Existing ceiling to be removed, including all ceiling mounted and recessed devices but not limited to light fixtures, diffusers, fire and life safety devices, etc. Refer to and coordinate with Mechanical and Electrical drawings.
- D22 Existing ceiling to remain. Any area of existing ceiling disturbed for demolition is to be restored back to original state. Provide temporary supports and framing as required during construction. Refer to and coordinate with Mechanical and Electrical drawings.
- D23 Existing diffuser to be removed and/or relocated. Refer to and coordinate with Mechanical drawings.

- D24 Existing light fixture to be removed and/or relocated. Refer to and coordinate with Electrical drawings.
- D25 Existing device to be removed and/or relocated. Refer to and coordinate with Electrical drawings.
- D26 Existing fire safety device to be adjusted to suit new ceiling modifications. Refer to and coordinate with Electrical drawings.
- D27 Existing exit signage to be removed and/or relocated. Refer to and coordinate with Electrical drawings.

DEMO LEGEND & SYMBOLS:

- Indicates existing acoustic tile ceiling (ACT) to be removed, including but not limited to grid, tiles, hangers, and supports. Refer to and coordinate with Electrical drawings.
- Indicates existing gyp bd. ceiling to be removed, including but not limited to hangers, supports, etc.
- Indicates existing bulkhead and/or walls to be removed, including but not limited to all wall/ceiling mounted equipment and devices.
- Indicates existing diffuser to remain. Refer to and coordinate with Mechanical drawings.
- Indicates existing diffuser to be removed and/or relocated. Refer to and coordinate with Mechanical drawings.

- Indicates existing light fixtures to remain. Refer to and coordinate with Electrical drawings.
- Indicates existing light fixtures to be removed and/or relocated, including but not limited to all associated wiring to nearest junction box unless noted otherwise. Refer to and coordinate with Electrical drawings.
- Indicates existing speaker to be removed and/or relocated. Refer to and coordinate with Electrical drawings.
- Indicates existing exit signage to be removed and/or relocated. Refer to and coordinate with Electrical drawings.
- Indicates existing sprinkler head to remain. Refer to and coordinate with Mechanical drawings.

ABATEMENT NOTES:

PRIOR TO COMMENCEMENT OF ANY DECONTAMINATION, ABATEMENT, REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS, REFER TO DESIGNATED SUBSTANCE SURVEYS, REPORTS AND SPECIFICATIONS PROVIDED BY OWNER.

GC TO COORDINATE WITH AND FOLLOW THE PROCEDURES OUTLINED THEREIN.