



Waterloo Region
District School Board

ISSUED FOR CONSTRUCTION

CHALMERS PUBLIC SCHOOL LIBRARY RENOVATION

35 CHALMERS STREET S
CAMBRIDGE, ONTARIO



BUILDING DRAWINGS

ARCHITECTURAL

- A-001 GENERAL NOTES & INDEX
- A-002 OBC MATRIX & TRAVEL DISTANCE PLAN
- A-110 FLOOR PLANS DEMOLITION & RENOVATION
- A-111 REFLECTED CEILING PLANS DEMOLITION & RENOVATION
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- A-301 WALL SECTIONS & DETAILS
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MECHANICAL

- M-01 KEY PLANS, LEGEND, SCHEDULES, & DETAILS
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ISSUED FOR CONSTRUCTION

CHALMERS PUBLIC SCHOOL
LIBRARY RENOVATION

PROJECT NO. 25-104

JULY 2026

WALL SCHEDULE NOTES:

1) THIS SHEET IS TO BE READ IN CONJUNCTION WITH ALL OTHER SHEETS TO GIVE THE COMPLETE SCOPE OF WORK.

2) REPORT ANY DISCREPANCIES BETWEEN THE NOTED CONSTRUCTION & WALL SECTIONS WITH ARCHITECT PRIOR TO CONSTRUCTION START.

3) PROVIDE SHOP DRAWINGS C/W ENGINEER STAMP FOR STRUCTURAL STEEL STUDS & CONNECTION DETAILS.

4) ALL PARTITION WALLS AROUND OFFICES ARE TO BE FILLED WITH ACOUSTIC BLANKET BATT INSULATION.

5) REFER TO STRUCTURAL DRAWINGS FOR WALL FRAMING SCHEDULE.

W1

TYPICAL STUD WALL:

13mm GYPSUM BOARD, PAINTED

92mm METAL STUDS @ 400mm O.C.

C/W BATT INSULATION

13mm GYPSUM BOARD, PAINTED.

W2

MASONRY WALL INFILL:

CONCRETE MASONRY UNIT TO MATCH EXISTING, PAINTED.

3. ALL DIMENSIONS ARE TO THE FINISHED SURFACES UNLESS NOTED OTHERWISE.
2. DO NOT SCALE DRAWINGS – USE DIMENSIONS.
3. ALL CONSTRUCTION IS NEW UNLESS OTHERWISE NOTED.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME. REPORT ANY ERRORS OR OMISSIONS TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING WORK. PRINTS ARE NOT TO BE SCALED.
5. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH CURRENT BUILDING CODE AND WITH ALL OTHER CODES, ORDINANCES AND REQUIREMENTS HAVING JURISDICTION.
6. ALL WORK RELATING TO THIS CONSTRUCTION SHALL COMPLY WITH THE PROVINCIAL MINISTRY OF LABOUR, THE OCCUPATIONAL HEALTH AND SAFETY STANDARDS AND ALL RELATED LOCAL BUILDING CODES AND ORDINANCES.
7. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR A COMPLETE SCOPE OF WORK.
8. INFORMATION SHOWN HEREIN ARE BASED ON PREVIOUS RECORDS & DRAWINGS. THE ACCURACY OF THIS DATA HAS BEEN MODERATELY VERIFIED WITH FRAGMENTARY DIMENSIONS WHERE POSSIBLE.
9. PATTERNS OF HATCHING ARE GRAPHIC REPRESENTATIONS ONLY. THEY DO NOT REPRESENT TILE PLACEMENT OR COUSING.
10. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO REMOVE, STORE & RELOCATE / REINSTALL ALL FIXED IN PLACE MILLWORK, EQUIPMENT ETC. IN AREAS OF WORK. THE GENERAL CONTRACTOR WILL PATCH, REPAIR OR REPLACE ANY DAMAGED ITEMS, UNDER HIS RESPONSIBILITY AS A CONSEQUENCE OF IMPROPER STORAGE OR HANDLING, AT HIS OWN EXPENSE. THE GENERAL CONTRACTOR SHALL CO-ORDINATE WITH THE SCHOOL BOARD WHEN THE ITEMS, UNDER HIS RESPONSIBILITY, SHALL BE REINSTALLED AT WHICH TIME AN INSPECTION FOR DAMAGE SHALL BE CONDUCTED BY THE SCHOOL BOARD.
11. CRACKING IN CONCRETE SLAB NOT RELATED TO TRANSITIONS OR SAWCUTTING ARE TO BE CLEANED OUT, INFILLED & LEVELLED SMOOTH. GRIND SMOOTH, INFILL AND PATCH LOCATIONS OF SAWCUTS OR TRANSITION JOINTS & COLUMNS ISOLATION JOINTS TO MAKE TRANSITION IMPERCEPTIBLE IN PREPARATION OF INSTALLATION OF ALL NEW FLOORING. GENERAL CONTRACTOR TO SITE CONFIRM LOCATIONS.
12. LEVEL SLAB AREAS AFTER ANY REMOVALS WHICH MAY HAVE DIFFERENT ELEVATIONS.
13. WHERE FLOORING IS BEING REMOVED, GRIND SMOOTH EXISTING CONCRETE FLOOR SLAB TO REMOVE ANY REMNANT ADHESIVE, MORTAR ETC. & MAKE READY TO RECEIVE NEW FLOOR FINISHES.
14. ADJUST AS REQUIRED ALL DRAINS AND CLEAN-OUTS TO SUIT NEW FLOORING ELEVATION; NEATLY CUT FLOORING AROUND CLEAN-OUTS.
15. "MAKE GOOD" SHALL BE DEFINED AS: WHEN THE WORK IS COMPLETED ALL FINISHES, MATERIALS & SURFACES ARE TO RESEMBLE A NEW INSTALLATION. THIS WILL INCLUDE INFILLING, PATCHING & SANDING. THIS WILL BE APPLIED TO ALL AREAS WHERE DEMOLITION OR REMOVAL OCCURS & TO ANY SURFACES DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION . PATCHING IS THE REPAIRING OF ALL MATERIALS, SURFACES & FINISHES WHICH SHALL MATCH THE ADJACENT FINISHES & COLOURS UNLESS OTHERWISE NOTED. WHERE RE-PAINING IS REQUIRED, THE ENTIRE SURFACE PLAN SHALL ALSO BE PAINTED.
16. ALL MECHANICAL & ELECTRICAL SERVICES RELATED TO EQUIPMENT, MILLWORK, REMOVALS, RELOCATIONS & DEMOLITIONS SHALL BE DISCONNECTED & CAPPED BEHIND THE FINISHED FLOOR LEVEL. MAKE GOOD ALL SLAB OPENINGS AS REQUIRED & MAKE READY TO ACCEPT NEW FINISHES, REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR A COMPLETE SCOPE OF WORK.

1. SELECTIVE DEMOLITION OF WALLS AND CEILINGS AS REQUIRED TO ACCOMMODATE INSTALLATION OF STRUCTURAL, MECHANICAL, AND ELECTRICAL ROUGH-INS AND EQUIPMENT.
2. ALL EXISTING FURNITURE, EQUIPMENT, DESKS, ARTWORK, AND WALL MOUNTED BOARDS IN OFFICES, CORRIDOR, AND MAIN LIBRARY AREA WILL BE REMOVED BY SCHOOL BOARD PRIOR TO DEMOLITION AND CONSTRUCTION.
3. EXISTING WOOD STAGE, AND ASSOCIATED CARPET FLOORING, SHALL BE REMOVED COMPLETELY. GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING, REPAIRING AND MAKING GOOD EXISTING WALLS, GRIND, SMOOTH AND LEVEL SLAB PRIOR TO PAINTING AND INSTALLATION OF NEW FLOORING.

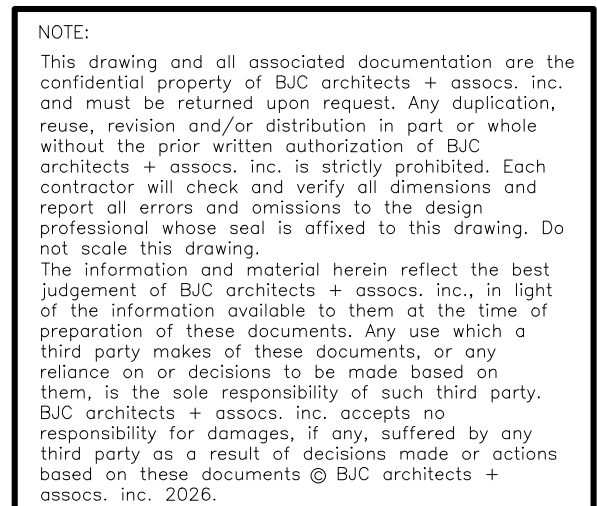
GREY TONE REPRESENTS EXISTING					
EXISTING VESTIBULE 	ROOM NAME NUMBER	EXISTING ROOM NAME & NUMBER	NEW VESTIBULE 	ROOM NAME NUMBER	NEW ROOM NAME & NUMBER
	DETAIL NUMBER SHEET NUMBER	SECTION REFERENCE		RADIUS DIMENSION	
	DETAIL NUMBER SHEET NUMBER	BUILDING CROSS SECTION REFERENCE		ANGLE DIMENSION	
	DETAIL NUMBER SHEET NUMBER			SPECIFIC DRAWING NOTE	
	DETAIL NUMBER DWG. NUMBER ELEVATION DIRECTION	ELEVATION REFERENCE		WALL SCHEDULE REFERENCE TAG	
	DETAIL NUMBER SHEET NUMBER	DETAIL REFERENCE BUBBLE		ROOM NAME & NUMBER	
	FINISH FLOOR	ELEVATION INDICATOR		MAIN ENTRANCE	
	CEILING ELEVATION INDICATOR			BUILDING EXIT / ENTRANCE	
	GRID LINE BUBBLE			ELEVATION NOTE TAG	
	GRID LINE DIMENSION			SPOT ELEVATION	
	DIMENSION LINE			PLUMBING STACK	
	REVISION CLOUD REVISION NUMBER	DRAWING REVISION		SCREEN w/ NUMBER REFERENCE TAG	
	DOOR & FRAME DOOR NUMBER	DOOR & NUMBER REFERENCE		WINDOW NUMBER – REFER TO WINDOW SCHEDULE	
	DOOR & FRAME DOOR NUMBER	EXISTING DOOR		OVERHEAD ELEMENT	
	DOOR & FRAME	EXISTING DOOR TO BE REMOVED		AIR BARRIER	
	DOOR & FRAME DOOR NUMBER	MODIFIED DOOR & NUMBER REFERENCE		VAPOUR BARRIER	
	FIRE HOSE CABINET			ROOF MEMBRANE	
	ELECTRICAL PANEL				
	FLOOR DRAIN AND SLOPES				

	<u>CLIENT</u> WATERLOO REGION DISTRICT SCHOOL BOARD CONTACT: ROBERT PERKO 51 ARDELT AVE KITCHENER, ONTARIO PHONE: 519-465-0362
	<u>ARCHITECTURAL</u> BJC architects + assoc's. inc. CONTACT: MR. BARRY R. JOHNSON R.R.#2 8016 HIGHWAY #7, GUELPH, ON N1H 6A8 PHONE: 519-822-7390 FAX: 519-822-5881
	<u>MECHANICAL & ELECTRICAL</u> SAB ENGINEERING INC. CONTACT: MS. GABRIELA STRASHUN ADDRESS: 588 EDWARD AVE. UNIT 25 CITY: RICHMOND HILL, ONTARIO PHONE: 905-787-8885 FAX: 905-787-8771

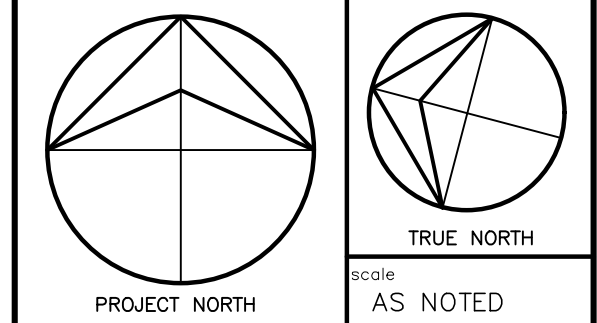
THESE DRAWINGS ARE PREPARED WITH THE USE OF LINE TYPES, HATCH PATTERNS, COLOURS, AND NUMERICALLY DESIGNATED NOTES. COLLECTIVELY THESE REPRESENT THE FULL SCOPE OF WORK, WITH THE INTENT TO PROVIDE CLARITY. NOT ALL ITEMS MAY BE INDIVIDUALLY NOTED. IF ANYTHING IS AMBIGUOUS THE GENERAL CONTRACTOR IS TO ASK FOR CLARIFICATION AT THE TIME OF TENDER. FAILURE TO DO SO WILL LEAVE THE INTERPRETATION OF THE DRAWINGS TO THE ARCHITECT. THIS NOTE APPLIES TO ALL DRAWINGS.

THIS DRAWING CONTAINS THE USE OF COLOUR TO BETTER ILLUSTRATE AND DESCRIBE THE INTENT OF THE DRAWING BY HIGHLIGHTING LINE TYPES, HATCH PATTERNS, TEXT, DIMENSIONS, OR TONES. IT IS MANDATORY THAT THIS DRAWING BE PRINTED IN COLOUR FOR ITS USE. FAILURE TO DO SO WILL NOT RESULT IN ANY COMPENSATION FOR COSTS OR TIME LOST BY THE GC OR HIS/HER SUBTRADE DUE TO OMISSIONS, ERRORS, OR MISUNDERSTANDING OF THE FULL SCOPE OF THE WORK.

ADVC. TILE. -	ACOUSTIC TILE	G.C. -	GENERAL CONTRACTOR	PLYWD. -	PLYWOOD
ADJ. -	ADJUSTABLE	GLAZ. -	GLAZING	PREFIN. -	PRE-FINISHED
A.H.J. -	AUTHORITY HAVING JURISDICTION	GWB. -	GYP-SUM WALL BOARD	RD. -	ROOF DRAIN
B.F. -	BARRIER FREE	GA. -	GAGE	REQ'D. -	REQUIRED
B.LK. -	BLOCK	H.M. -	HOLLOW METAL	REINF. -	REINFORCED
BD. -	BOARD	HD/SLR -	HARDENER & SEALER	SM. -	SIMILAR
BLDG. -	BUILDING	HORIZ. -	HORIZONTAL, HORIZONTALLY	SS. -	STAINLESS STEEL
C.D. -	CEILING	HT. -	HEIGHT	STL. -	STEEL
CT. -	CERAMIC TILE	INCL. -	INCLUDING	STRUCT'L -	STRUCTURAL
C/W -	COMPLETE WITH	JT. -	JOINT	SUSP. -	SUSPENDED
COORD. -	COORDINATE	MAX. -	MAXIMUM	T.O.S. -	TOP OF SLAB
DEMO. -	DEMOLISH, DEMOLITION	MECH. -	MECHANICAL	TYP. -	TYPICAL
DN. -	DOWN	MIN. -	MINIMUM	u/s -	UNDER
DWG. -	DRAWING	MTD. -	MOUNTED	U.N.O. -	UNLESS NOTED OTHERWISE
EA. -	EACH	MTG. -	MOUNTING	V.B. -	VAPOUR BARRIER
ELECT. -	ELECTRICAL	MTL. -	METAL	V.C.T. -	VINYL COMPOSITION TILE
EQ. -	EQUIVALENT, OR EQUAL	MEZZ. -	MEZZANINE	VERT. -	VERTICAL, VERTICALLY
EQUIPMNT. -	EQUIPMENT	N/A -	NOT APPLICABLE	W.W.F. -	WELDED WIRE FABRIC
EXIST. -	EXISTING	N.I.C. -	NOT IN CONTRACT	w/ -	WITH
E.J. -	EXPANSION JOINT	N.R. -	NOT REQUIRED	WD. -	WOOD
F.D. -	FLOOR DRAIN	O.C. -	ON CENTRE		
F.F.E. -	FINISHED FLOOR ELEVATION	O.D. -	OUTSIDE DIAMETER		
FIN. -	FINISHED	PTD. -	PAINTED		
FLR. -	FLOOR	PART. -	PARTIAL		
GALV. -	GALVANIZED	P. LAM. -	PLASTIC LAMINATE		



02	ISSUED FOR CONSTRUCTION	2026, 07.07
01	ISSUED FOR TENDER	2026, 03.24
No.	REVISIONS	date



 ONTARIO ASSOCIATION OF ARCHITECTS BARRY B. JOHNSON LICENCE 5984	drawn VA	
	last worked on 2026.03.10	by NJB
	checked B.R.J.	
	print date 2026.07.07	



client	WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE KITCHENER	ONTARIO
project	CHALMERS PUBLIC SCHOOL RENOVATION
35 CHALMERS STREET SOUTH CAMBRIDGE	ONTARIO

drawing title
GENERAL NOTES
& INDEX

reference	
project no. 25-104	client reference number
sheet no.	

X RESERVED

scale: X : XXX

LEGEND

- APPROXIMATE AREA NOT IN CONTRACT SCOPE.
- END OF TRAVEL.
- FURTHEST POINT OF TRAVEL.
- TRAVEL DISTANCE.
- MAIN ENTRANCE
- EXIT

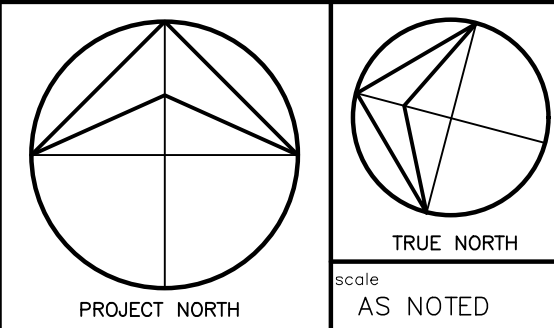
PART 11 - A2 OCCUPANCY

ITEM	2024 ONTARIO BUILDING CODE	O.B.C. REFERENCE
11.2 EXISTING BUILDING CLASSIFICATION:	CHANGE IN MAJOR OCCUPANCY: ☐ YES ☒ NOT APPLICABLE (no change of major occupancy) CONSTRUCTION INDEX: N/A - NO CHANGE IN MAJOR HAZARD INDEX: N/A - NO CHANGE IN MAJOR IMPORTANCE CATEGORY: ☐ LOW ☐ NORMAL ☒ HIGH ☐ POST-DISASTER	10.1.1.2, 11.2.1.1, TABLE 11.2.1.1.A, TABLE 11.2.1.1.B to N, 4.1.2.1(2), 2.3.1, & 5.2.2.1(2)
11.3 ALTERATIONS TO EXISTING BUILDING IS:	☒ BASIC RENOVATION ☐ EXTENSIVE RENOVATION	11.3.3.1, & 11.3.3.2
11.4 REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: ☒ NO ☐ YES BY INCREASE IN OCCUPANT LOAD: ☒ NO ☐ YES BY CHANGE OF MAJOR OCCUPANCY: ☒ NO ☐ YES PLUMBING: ☒ NO ☐ YES SEWAGE-SYSTEM: ☒ NO ☐ YES EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION: ☒ NO ☐ YES	11.4.2.1, 11.4.2.2, 11.4.2.3, 11.4.2.4, 11.4.2.5, 11.4.2.6
11.5 COMPENSATING CONSTRUCTION:	☒ NO ☐ YES STRUCTURAL: ☒ NO ☐ YES INCREASE IN OCCUPANT LOAD: ☒ NO ☐ YES CHANGE OF MAJOR OCCUPANCY: ☒ NO ☐ YES PLUMBING: ☒ NO ☐ YES SEWAGE-SYSTEM: ☒ NO ☐ YES EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION: ☒ NO ☐ YES	11.4.3.1, 11.4.3.2, 11.4.3.3, 11.4.3.4, 11.4.3.5, 11.4.3.6, 11.4.3.7
11.6 COMPLIANCE ALTERNATIVES PROPOSED:	NO ☒ YES ☐	11.5.1
11.7 ALTERNATIVE MEASURES PROPOSED:	NO ☒ YES ☐	(a) 12.1.1, & (c) 2.1



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04	ISSUED FOR CONSTRUCTION	2026.07.07
03	ISSUED FOR ADDENDUM #1	2026.04.21
02	ISSUED FOR PERMIT	2026.04.17
01	ISSUED FOR TENDER	2026.03.24



	drawn	DE
	last worked on by	2026.04.20 CRT
	checked	B.R.J.
	print date	2026.07.07
	scale	



client	WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE KITCHENER ONTARIO	
project	CHALMERS PUBLIC SCHOOL RENOVATION
35 CHALMERS STREET SOUTH CAMBRIDGE ONTARIO	

drawing title
OVERALL FLOOR PLAN & OBC MATRIX

reference	
project no.	25-104
client reference number	
sheet no.	

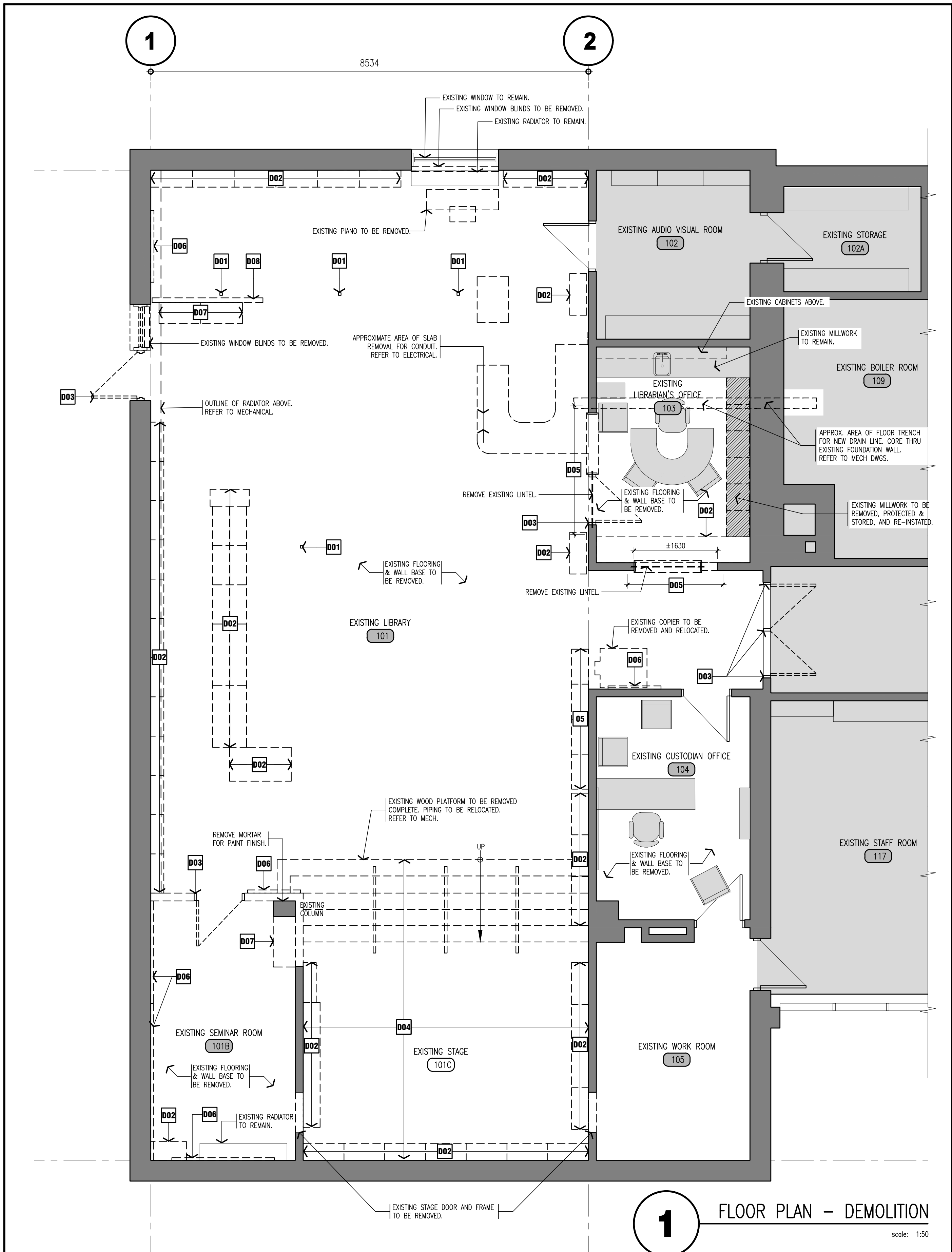
A - 002 04

CHALMERS STREET SOUTH

1

TRAVEL DISTANCE PLAN

scale: 1 : 200



- DEMOLITION NOTES:**
- SELECTIVE DEMOLITION OF WALLS AND CEILINGS AS REQUIRED TO ACCOMMODATE INSTALLATION OF STRUCTURAL, MECHANICAL AND ELECTRICAL ROUGH-INS AND EQUIPMENT.
 - ALL EXISTING LOOSE FURNITURE (DESKS, CHAIRS, MOBILE BOOK CARTS ON CASTORS), ARTWORK AND BOOKS WILL BE REMOVED BY SCHOOL BOARD PRIOR TO DEMOLITION AND CONSTRUCTION. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING ALL ITEMS INDICATED ON PLAN. EXISTING PIANO AND PRINTER WILL BE RELOCATED TO TEMPORARY LOCATION ON SITE BY CONTRACTOR.
 - EXISTING WOOD STAGE, AND ASSOCIATED CARPET FLOORING, SHALL BE REMOVED COMPLETED. GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING, REPAIRING AND MAKING GOOD EXISTING WALLS, GRIND, SMOOTH AND LEVEL SLAB PRIOR TO PAINTING AND INSTALLATION OF NEW FLOORING.
 - REFER TO MECHANICAL DEMO DRAWINGS FOR SCOPE OF PIPES REMAINING AND BEING REMOVED. GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING ANY OPENINGS FROM NEW PIPE PENETRATIONS OR FROM REMOVED PIPES, PATCHING AND MAKING GOOD DISTURBED SURFACES.
 - FOR SHORING, INSTALL 2"x10" SPF PLANK ON EACH SIDE FASTENED TO BLOCK WITH TAPCONS (THREE AT 300 C/C EACH SIDE. ALTERNATE SHORING TO BE APPROVED BY ENGINEER.
 - FOR TRENCHING IN ROOM 103, GENERAL CONTRACTOR IS RESPONSIBLE FOR TEMPORARILY REMOVING MILLWORK, RELOCATE IT TO A TEMPORARY LOCATION ON SITE, PROVIDE PROTECTION FOR MILLWORK AND REINSTATE AFTER SLAB INFILL AND FLOOR FINISH INSTALLATION.

- DEMOLITION KEY NOTES:**
- | | |
|---|---|
| D01 EXISTING POWER POST TO BE REMOVED. | D07 EXISTING BOOK SHELVING ON CASTORS TO BE REMOVED. |
| D02 EXISTING BOOK SHELVING TO BE REMOVED. | D08 EXISTING ROOM DIVIDER TO BE REMOVED. |
| D03 EXISTING DOOR AND FRAME TO BE REMOVED. | |
| D04 EXISTING STAIRS, RAILINGS, AND PLATFORM TO BE REMOVED. | |
| D05 UPPER PORTION OF BLOCK WALL TO BE REMOVED FOR NEW LINTEL INSTALLATION. | |
| D06 EXISTING WHITEBOARD/TACKBOARD TO BE REMOVED. | |



- NOTE 1:**
- THESE DRAWINGS ARE PREPARED WITH THE USE OF LINE TYPES, HATCH PATTERNS, COLOURS, AND NUMERICALLY DESIGNATED NOTES. COLLECTIVELY THESE REPRESENT THE FULL SCOPE OF WORK, WITH THE INTENT TO PROVIDE CLARITY. NOT ALL ITEMS MAY BE INDIVIDUALLY NOTED. IF ANYTHING IS AMBIGUOUS THE GENERAL CONTRACTOR IS TO ASK FOR CLARIFICATION AT THE TIME OF TENDER. FAILURE TO DO SO WILL LEAVE THE INTERPRETATION OF THE DRAWINGS TO THE ARCHITECT. THIS NOTE APPLIES TO ALL DRAWINGS.
- NOTE 2:**
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- LEGEND**
- | | | | |
|--|---|--|---|
| | NEW MILLWORK. | | EXISTING WALL. |
| | NEW FURNITURE & EQUIPMENT SUPPLIED BY OWNER, INSTALLED BY THE GC. | | NEW INTERIOR WALL. |
| | EXISTING FURNITURE & EQUIP. SUPPLIED BY OWNER, INSTALLED BY VENDOR. GC TO COORDINATE. | | APPROXIMATE AREA NOT IN CONTRACT SCOPE. |
| | NEW DOOR & FRAME. | | |
| | EXISTING DOOR & FRAME. | | |

- RENOVATION NOTES**
- | |
|--|
| 01 NEW BOOK SHELVING. |
| 02 REPAIR/PATCH WALLS FOLLOWING REMOVAL OF STAGE AND SHELVING TO MAKE READY FOR PAINT FINISH. |
| 03 RESERVED. |
| 04 NEW WHITEBOARD/TACK-BOARD, SUPPLIED AND INSTALLED BY GC. |
| 05 RESERVED. |
| 06 NEW KNEE WALL c/w WOOD CAP. PAINT FINISH. |
| 07 NEW TV MONITOR. |

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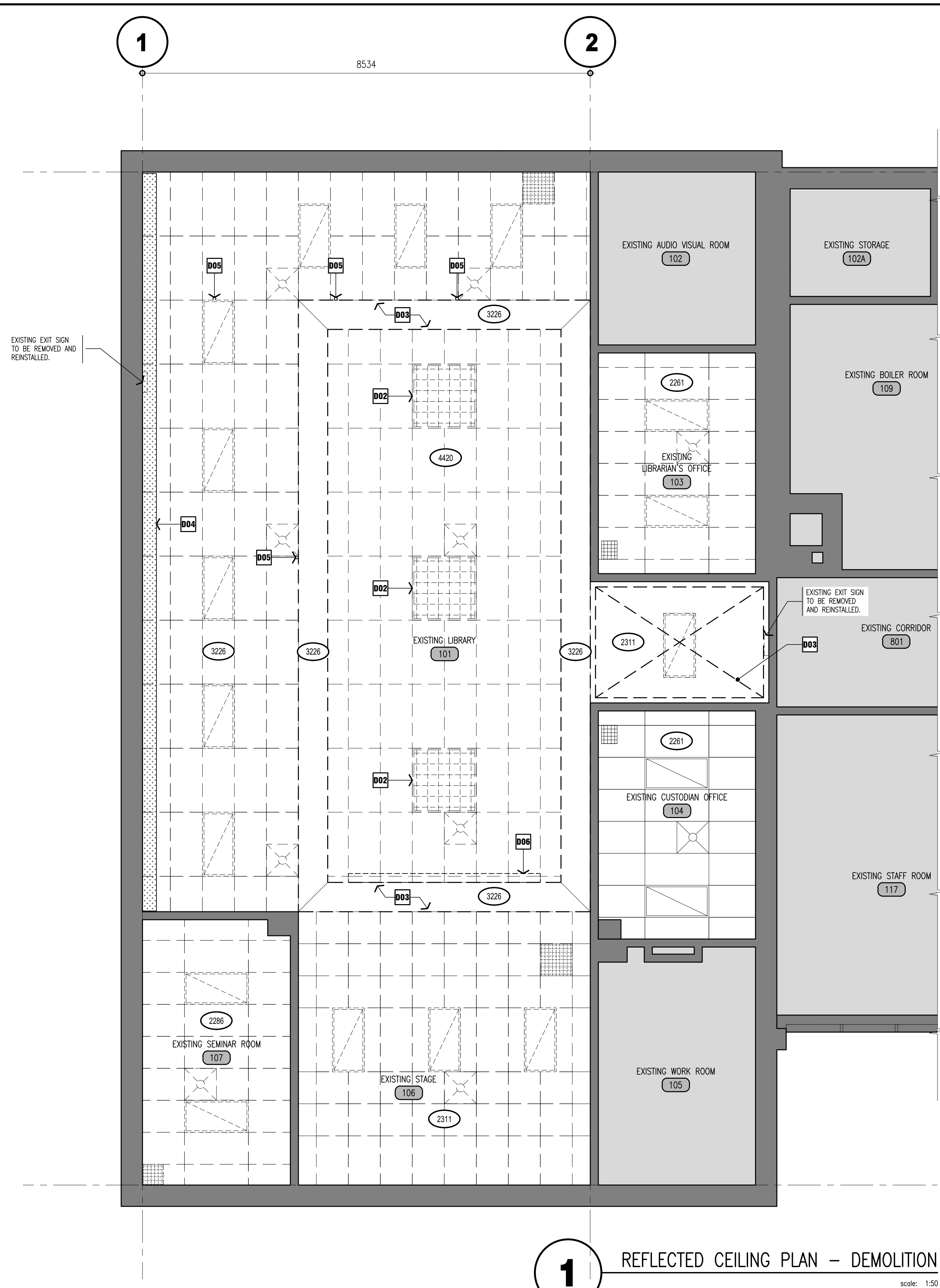
scale: AS NOTED

BARIATRIAN ASSOCIATION OF ARCHITECTS BARRY E. JOHNSON LICENSED BSCA	drawn by	VA
	last worked on by	2026.07.08 VA
	checked by	B.R.J.
	print date	2026.07.07
	scale	AS NOTED

BJC
architects + assocs. inc.

client
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE KITCHENER ONTARIO
project
CHALMERS PUBLIC SCHOOL RENOVATION
35 CHALMERS STREET SOUTH CAMBRIDGE ONTARIO

drawing title
FLOOR PLANS DEMOLITION & RENOVATION
reference
project no. 25-104 client reference number
sheet no. **A-11004**

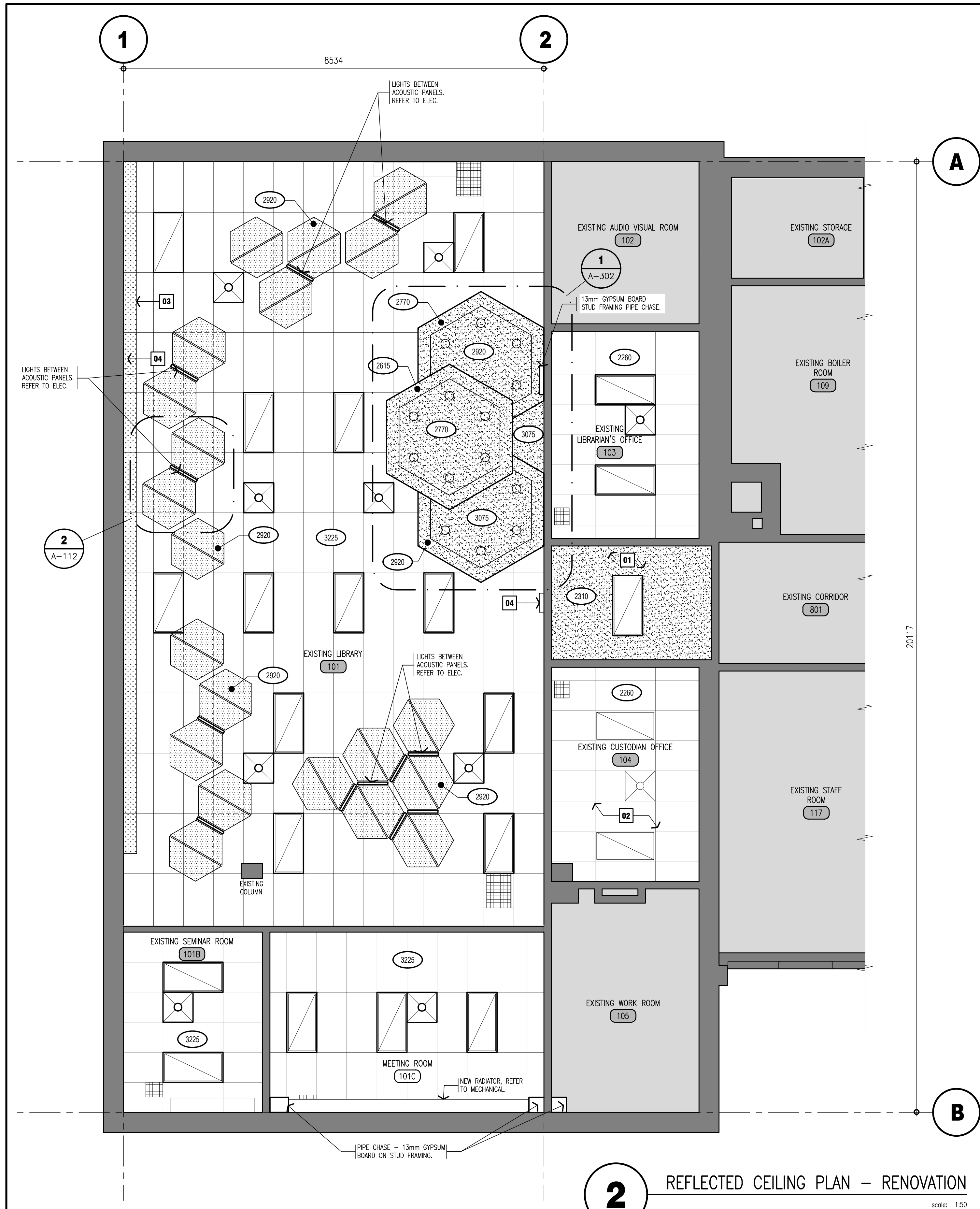


- ## GENERAL NOTES

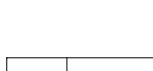
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2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL, CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR A COMPLETE SCOPE OF WORK.
3. SELECTIVE DEMOLITION OF WALLS AND CEILINGS AS REQUIRED TO ACCOMMODATE INSTALLATION OF STRUCTURAL, MECHANICAL AND ELECTRICAL ROUGH-INS AND EQUIPMENT.
4. COORDINATE WITH MECHANICAL FOR THE PROTECTION OF EXISTING SPRINKLER SYSTEM DURING THE DEMOLITION AND REMOVAL OF CEILINGS. REFER TO MECHANICAL DRAWINGS
5. ALL EXISTING FURNITURE, EQUIPMENT, DESKS, ARTWORK, AND WALL MOUNTED BOARDS WILL BE REMOVED BY SCHOOL BOARD PRIOR TO DEMOLITION AND CONSTRUCTION.
6. REFER TO MECHANICAL DEMO DRAWINGS FOR SCOPE OF PIPES REMAINING AND BEING REMOVED.

DEMOLITION NOTES:

- D01** RESERVED.
- D02** EXISTING LIGHTS TO BE REMOVED.
- D03** EXISTING GYPSUM BOARD CEILING AND FRAMING TO BE REMOVED.
- D04** EXISTING RADIATOR TO REMAIN AND TO BE PAINTED.
- D05** EXISTING POWER POST TO BE REMOVED.
- D06** EXISTING PROJECTOR SCREENS TO BE REMOVED AND RELOCATED.



LEGEND

- | | | | |
|--|--|---|--|
|  | CEILING ELEVATION
MARKER ABOVE FINISHED
LEVEL. |  |  MECHANICAL GRILLES &
DIFFUSERS.
(REFER TO MECHANICAL
DRAWINGS). |
|  | NEW ACOUSTIC TILE
CEILING & NEW GRID
SYSTEM. |  | NEW GYPSUM
BOARD CEILING. |
| 
 | LIGHT FIXTURE.
(REFER TO ELECTRICAL
DRAWINGS). |  | NEW SUSPENDED
ACOUSTIC PANEL. |

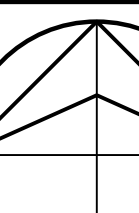
RENOVATION NOTES

- 01** NEW GYPSUM CEILING AND/OR BULKHEAD.
- 02** EXISTING CEILING GRID AND ACOUSTIC CEILING TILES TO REMAIN.
- 03** EXISTING RADIATOR TO REMAIN AND TO BE PAINTED.
- 04** REINSTALLED EXIT SIGN.
- 05** RESERVED.
- 06** RESERVED.



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02	ISSUED FOR CONSTRUCTION	2026.	
01	ISSUED FOR TENDER	2026.	
		03.24	
No.	REVISIONS		date



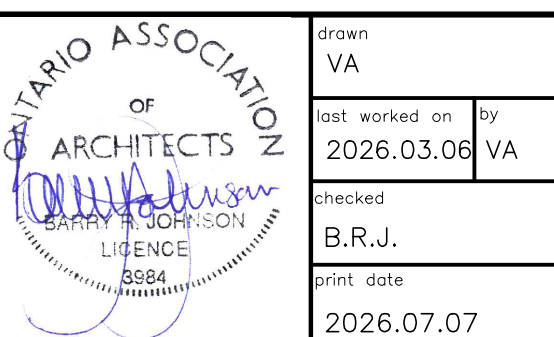
PROJECT NORTH



TRUE NORTH

people

AS NOTED



client
WATERLOO REGION
DISTRICT SCHOOL
BOARD

51 ARDELT AVENUE
KITCHENER ONTARIO

project
CHALMERS PUBLIC SCHOOL
RENOVATION

35 CHALMERS STREET SOUTH
CAMBRIDGE ONTARIO

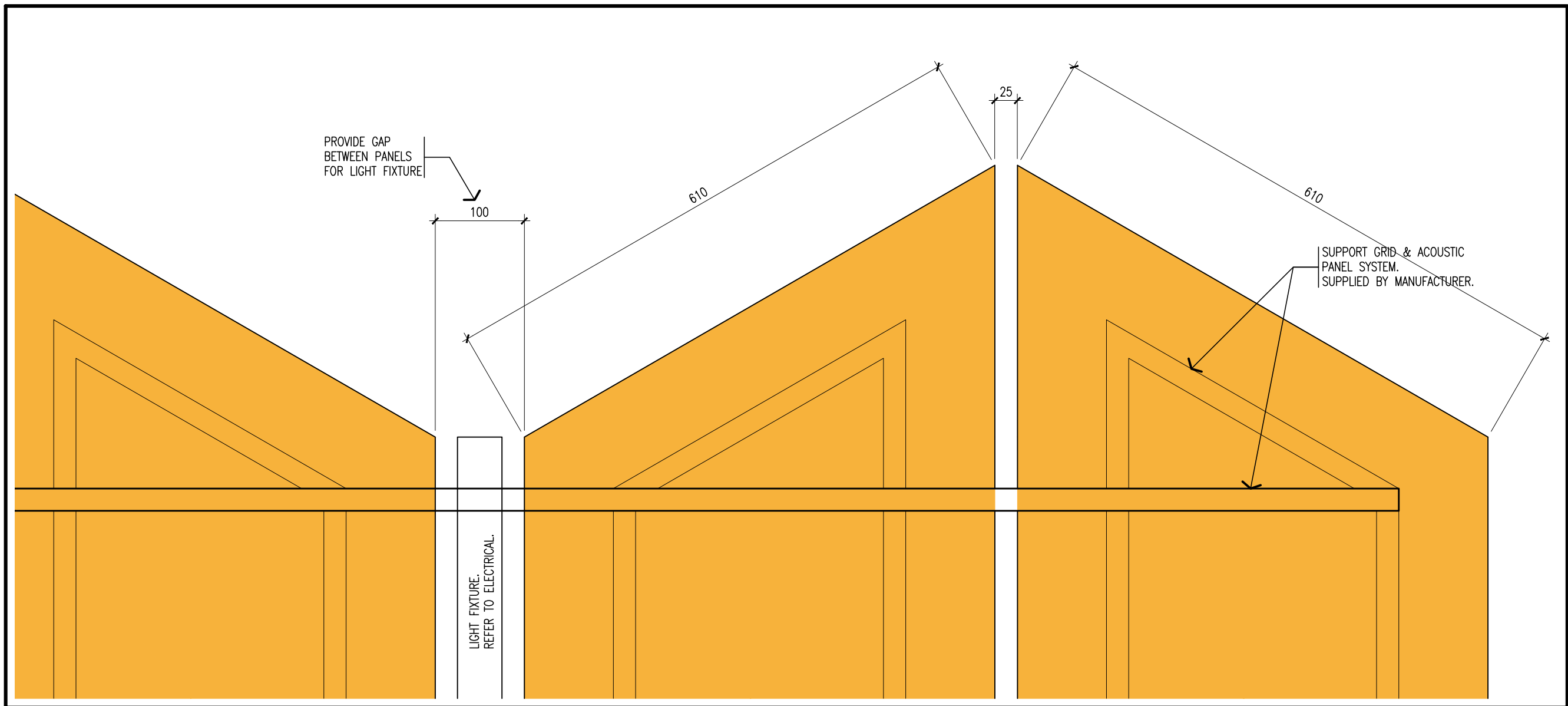
drawing title

REFLECTED CEILING
PLANS – DEMO &
RENOVATION

reference

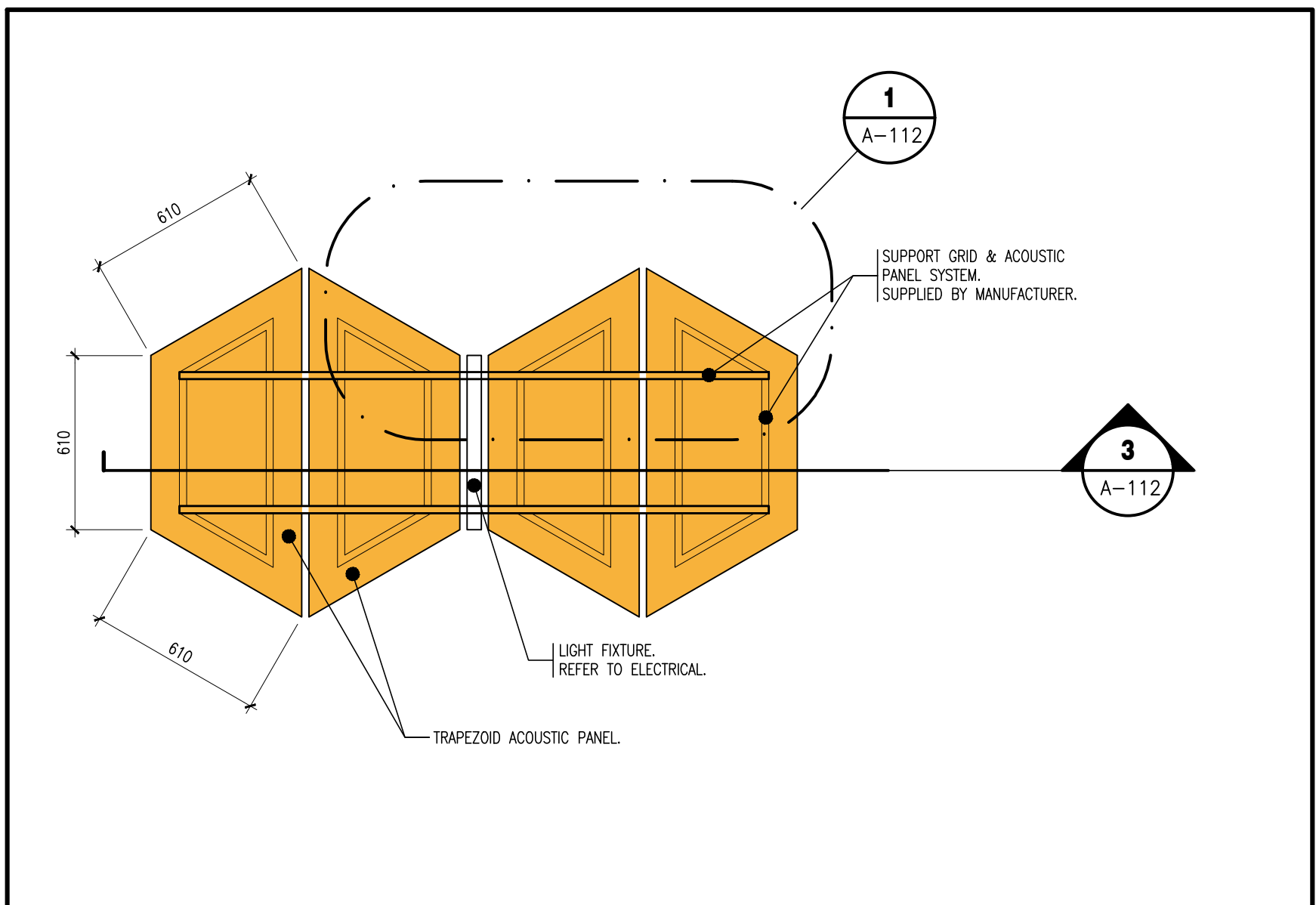
project no. 25-104	client reference number
-----------------------	-------------------------

Sheet no.



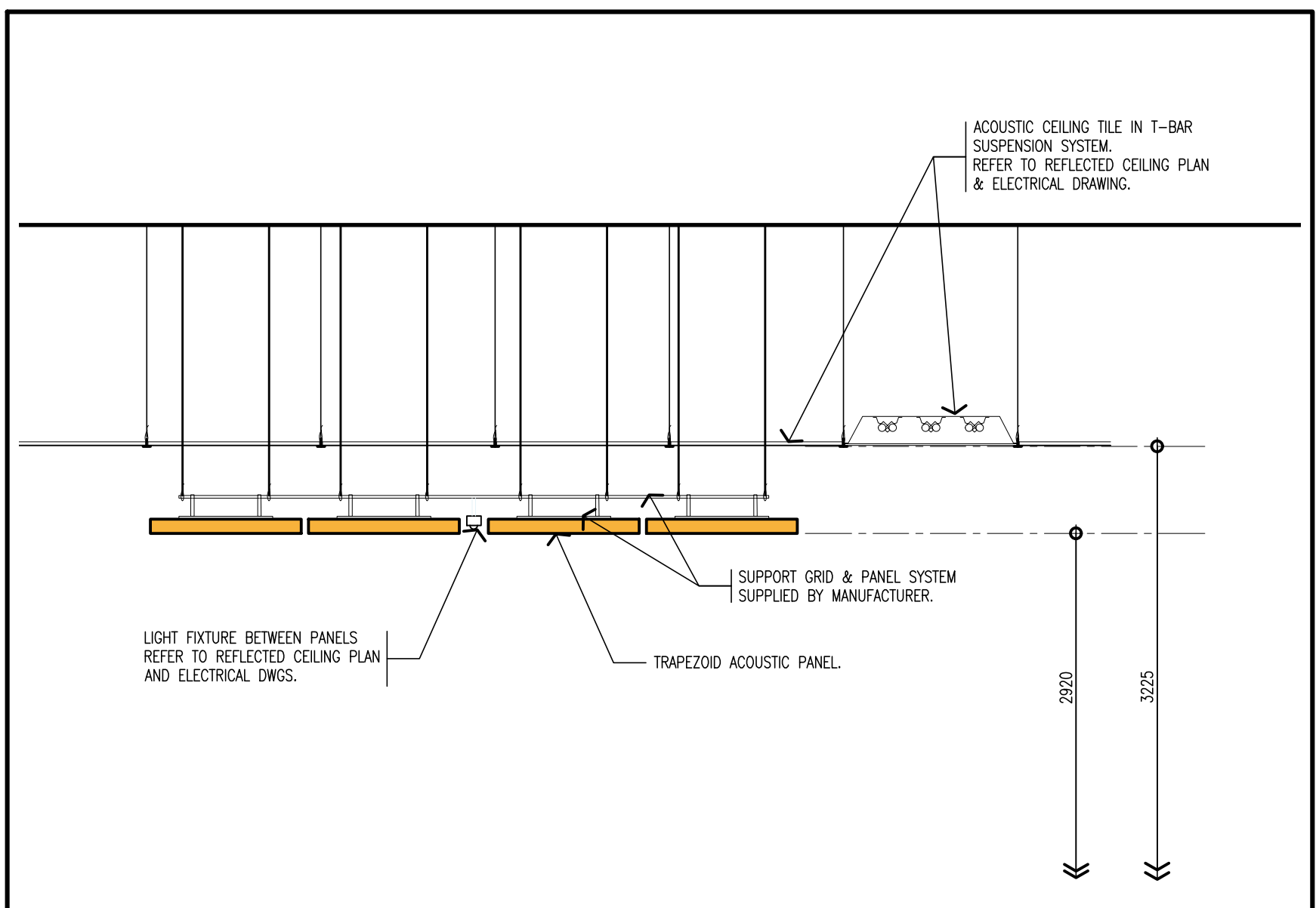
1 DETAIL AT DECORATIVE PANELS

scale: 1:5



2 DECORATIVE PANEL DETAIL

scale: 1:20



3 PANEL SECTION DETAIL

scale: 1:20

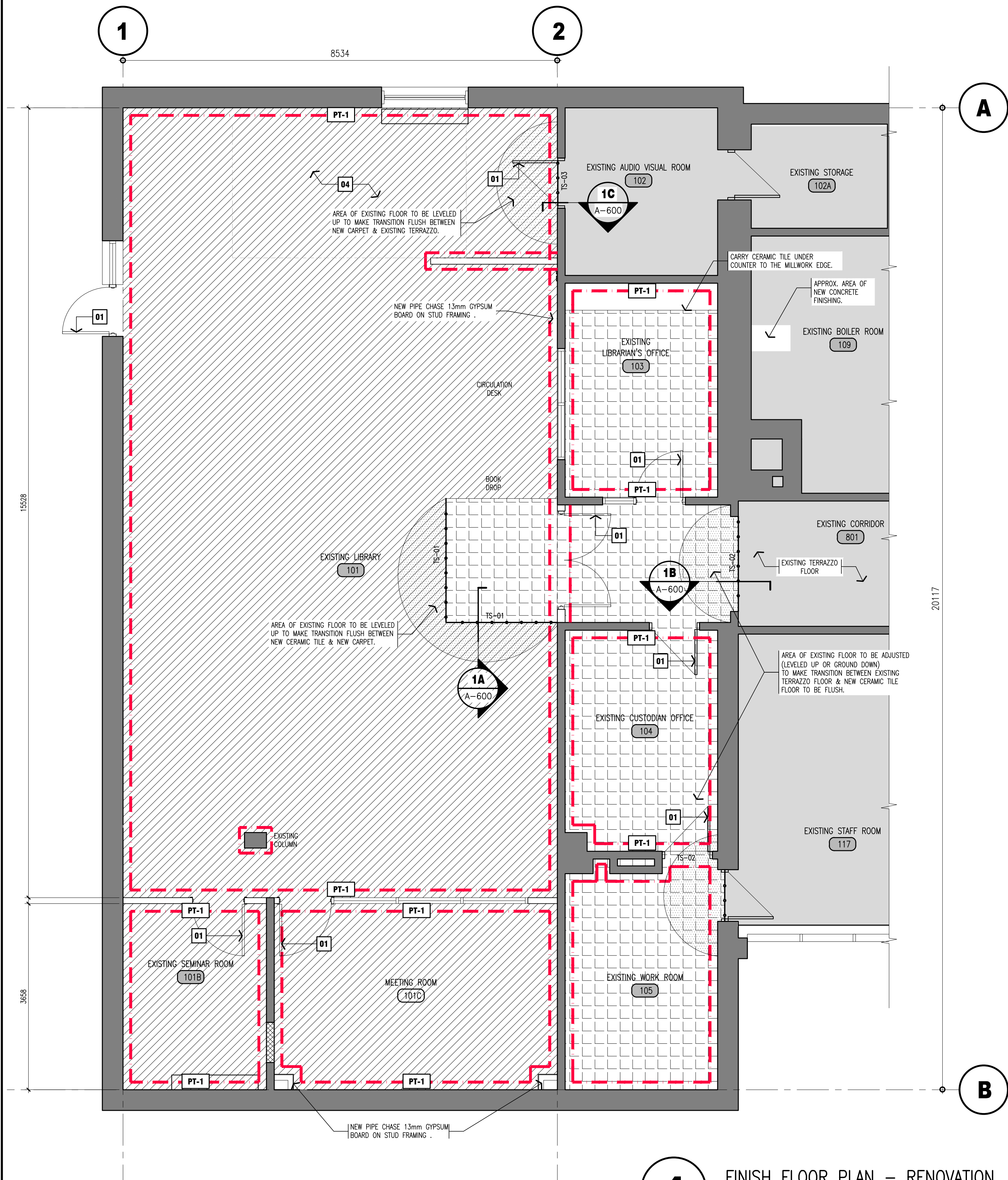
DRAWING NOTES

RENOVATION:

- 01 NEW GYPSUM CEILING AND/OR BULKHEAD.
- 02 EXISTING CEILING GRID AND ACOUSTIC CEILING TILES TO REMAIN.
- 03 EXISTING RADIATOR TO REMAIN AND TO BE PAINTED.
- 04 REINSTALLED EXIT SIGN.
- 05 RESERVED.
- 06 RESERVED.
- 07 RESERVED.

LEGEND

- APPROXIMATE AREA NOT IN CONTRACT SCOPE.
- EXISTING WALL.
- ROOM NAME 101 ROOM NAME & NUMBER.
- EXISTING ROOM NAME & NUMBER.
- SECONDARY ENTRANCE/EXIT.
- CEILING ELEVATION MARKER ABOVE FINISHED LEVEL.
- NEW ACOUSTIC TILE CEILING & EXISTING GRID SYSTEM.
- LIGHT FIXTURE. (REFER TO ELECTRICAL DRAWINGS).
- MECHANICAL GRILLES & DIFFUSERS. (REFER TO MECHANICAL DRAWINGS).



4 FINISH FLOOR PLAN – RENOVATION

scale: 1:50

LEGEND

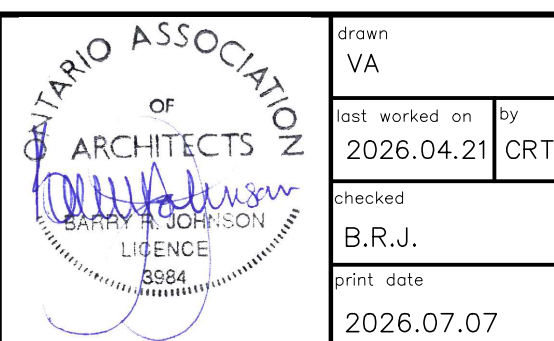
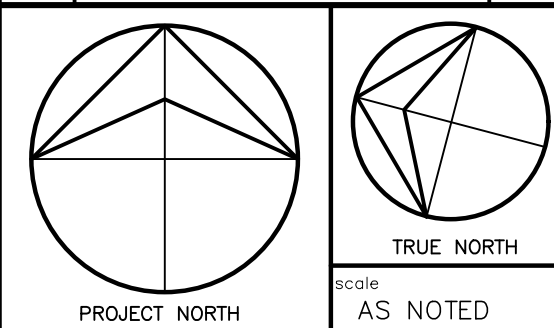
- AREA OF NEW CARPET c/w RUBBER WALL BASE. (CP-1)
- AREA OF NEW CERAMIC FLOOR TILE FLOORING c/w TILE WALL BASE w/ VINYL TILE TRIM at TOP. (CT-1)
- WALL PAINT FINISH. MANUFACTURER: BENJAMIN MOORE COLOUR: TBO
- TRANSITION STRIP.

RENOVATION NOTES:

- 01 DOOR AND FRAME TO BE PAINTED. COLOUR: TBO
- 02 CARPET FLOOR FINISH c/w 100mm RUBBER WALL BASE. SUPPLIED AND INSTALLED BY GC.
- 03 CERAMIC TILE FLOOR FINISH c/w TILE WALL BASE. SUPPLIED AND INSTALLED BY GC.
- 04 CARPET OR RUG IN STORYTELLING SPACE.

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No.	REVISIONS	date
04	ISSUED FOR CONSTRUCTION	2026.07.07
03	ISSUED FOR ADDENDUM #1	2026.04.21
02	ISSUED FOR PERMIT	2026.04.17
01	ISSUED FOR TENDER	2026.03.24



client
WATERLOO REGION DISTRICT SCHOOL BOARD

51 ARDELT AVENUE KITCHENER ONTARIO

project
CHALMERS PUBLIC SCHOOL RENOVATION

35 CHALMERS STREET SOUTH CAMBRIDGE ONTARIO

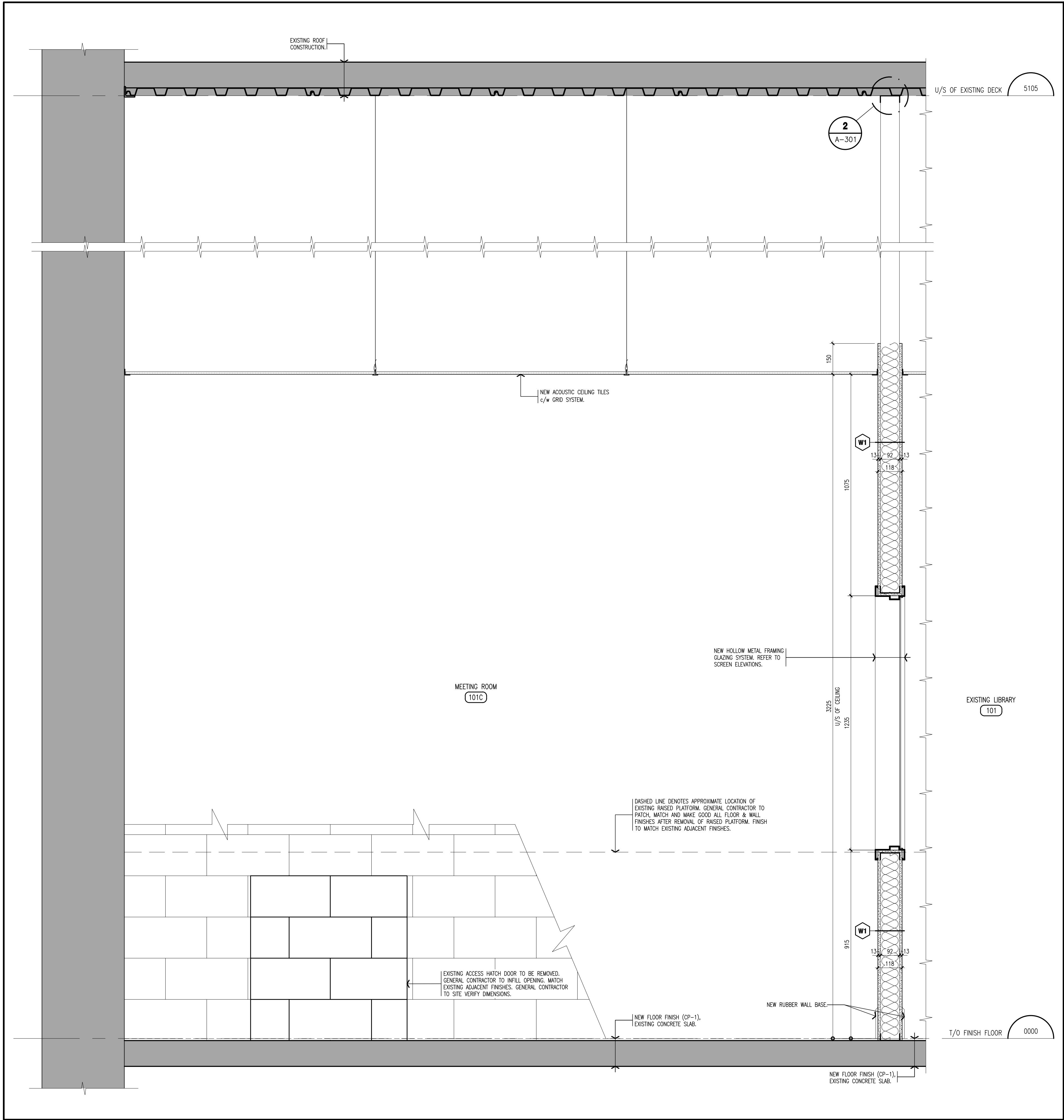
drawing title
FLOOR FINISH PLAN & DETAILS OF CEILING PANELS

reference

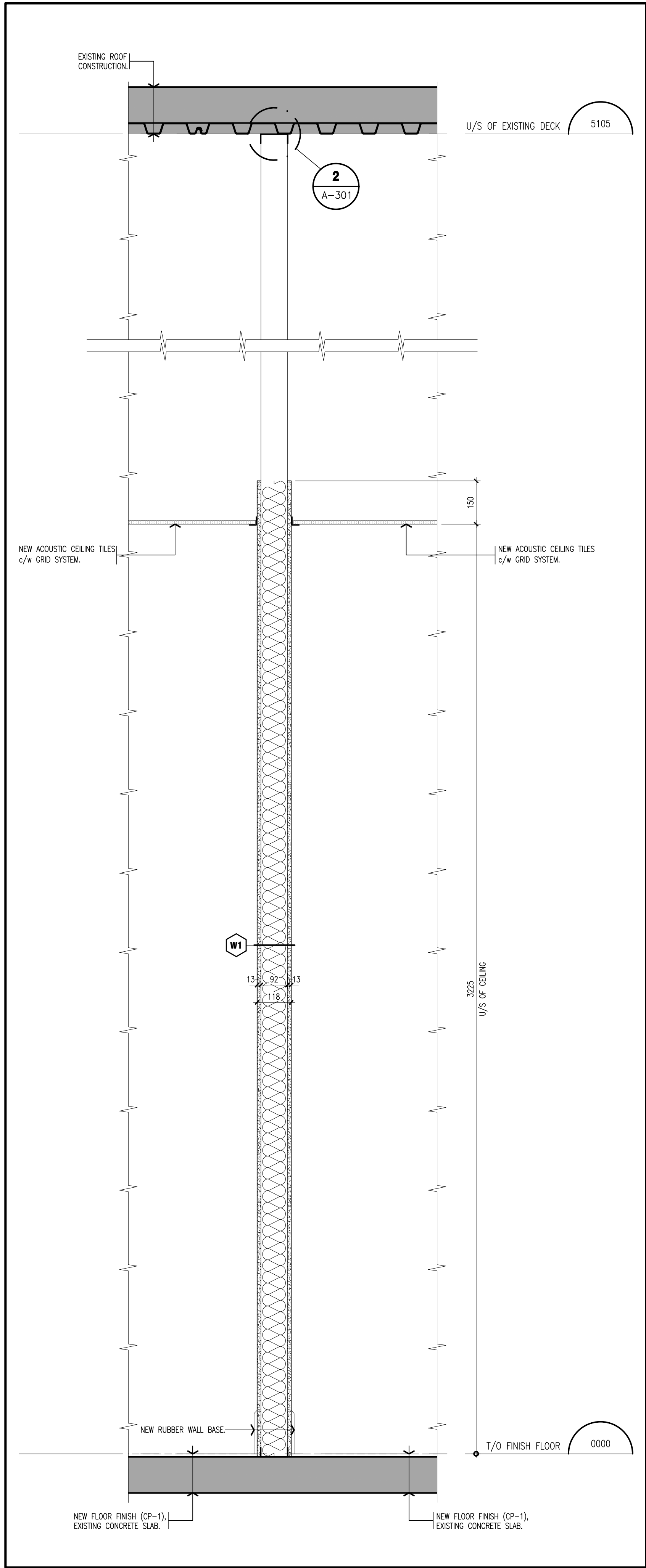
project no. 25-104 client reference number

sheet no.

A - 112 04



1 SECTION THROUGH NEW WINDOW IN MEETING ROOM
scale: 1:10



2 TYPICAL WALL SECTION THROUGH GYPSUM BOARD PARTITION
scale: 1:10



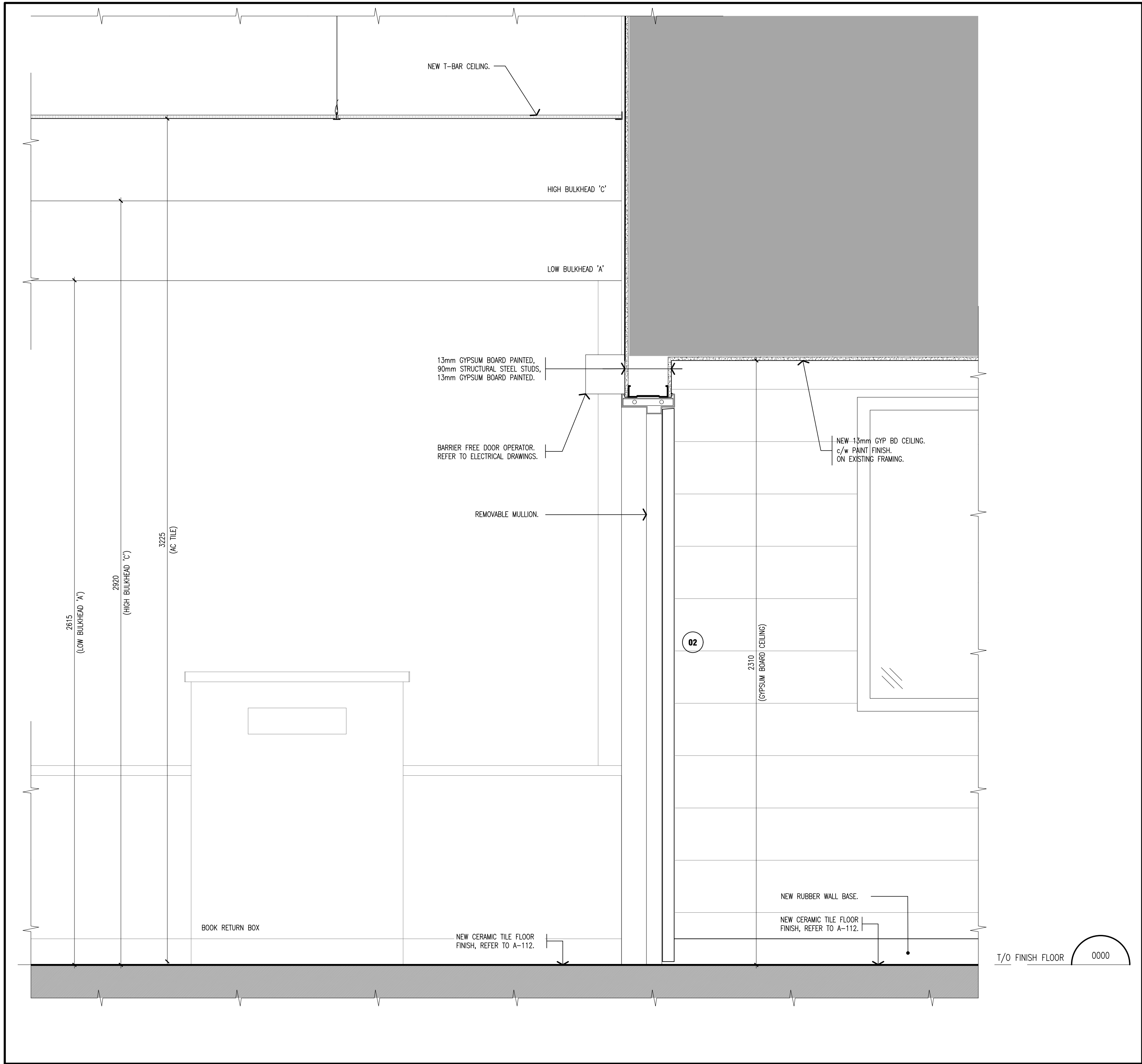
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02	ISSUED FOR CONSTRUCTION	2026.07.07
01	ISSUED FOR TENDER	2026.03.24
No.	REVISIONS	date
scale AS NOTED		



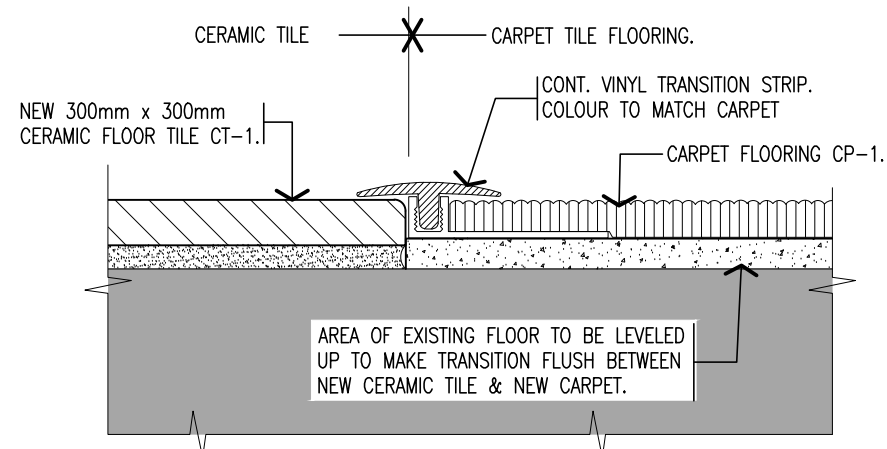
client
WATERLOO REGION
DISTRICT SCHOOL
BOARD
51 ARDELT AVENUE
KITCHENER ONTARIO
project
CHALMERS PUBLIC SCHOOL
RENOVATION
35 CHALMERS STREET SOUTH
CAMBRIDGE ONTARIO

drawing title
WALL SECTIONS
reference
project no.
25-104
client reference number
sheet no.
A - 300 02

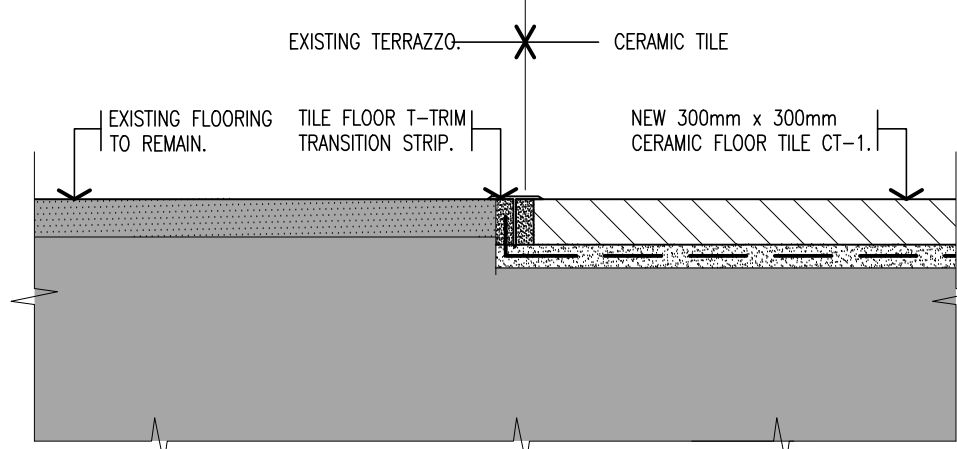


1 SECTION THRU NEW DOOR

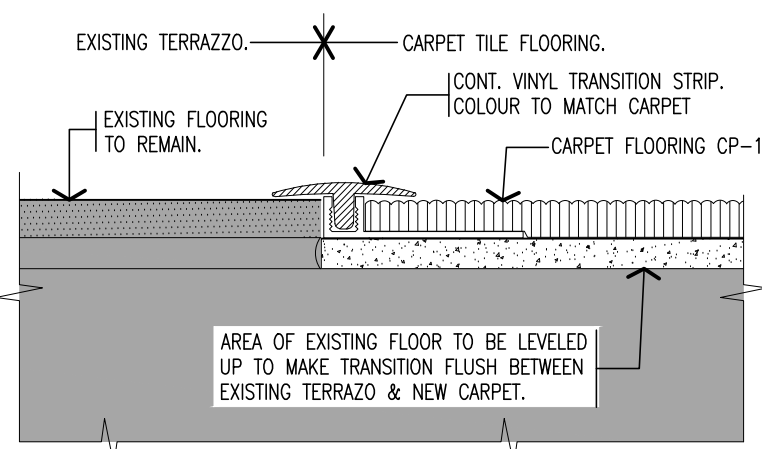
1:10



A CERAMIC TILE TO CARPET TS-01



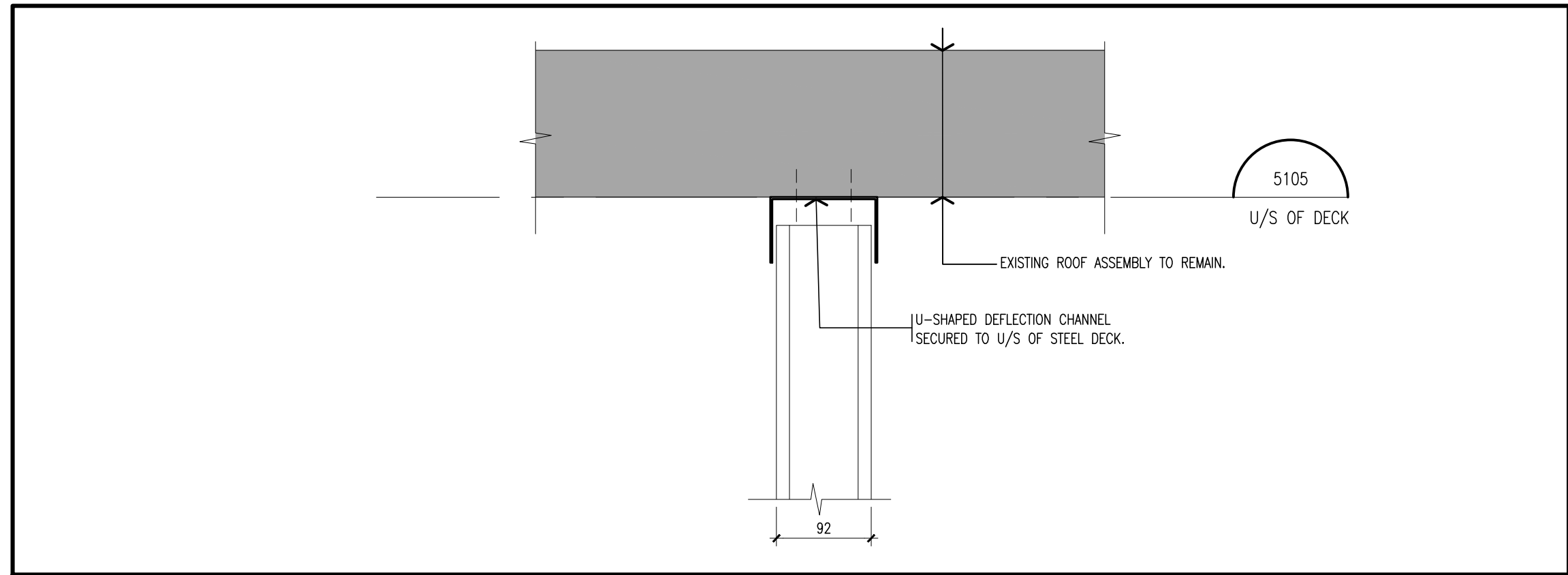
B EXISTING TERRAZZO TO CERAMIC TILE TS-02



C EXISTING TERRAZZO TO CARPET TS-03

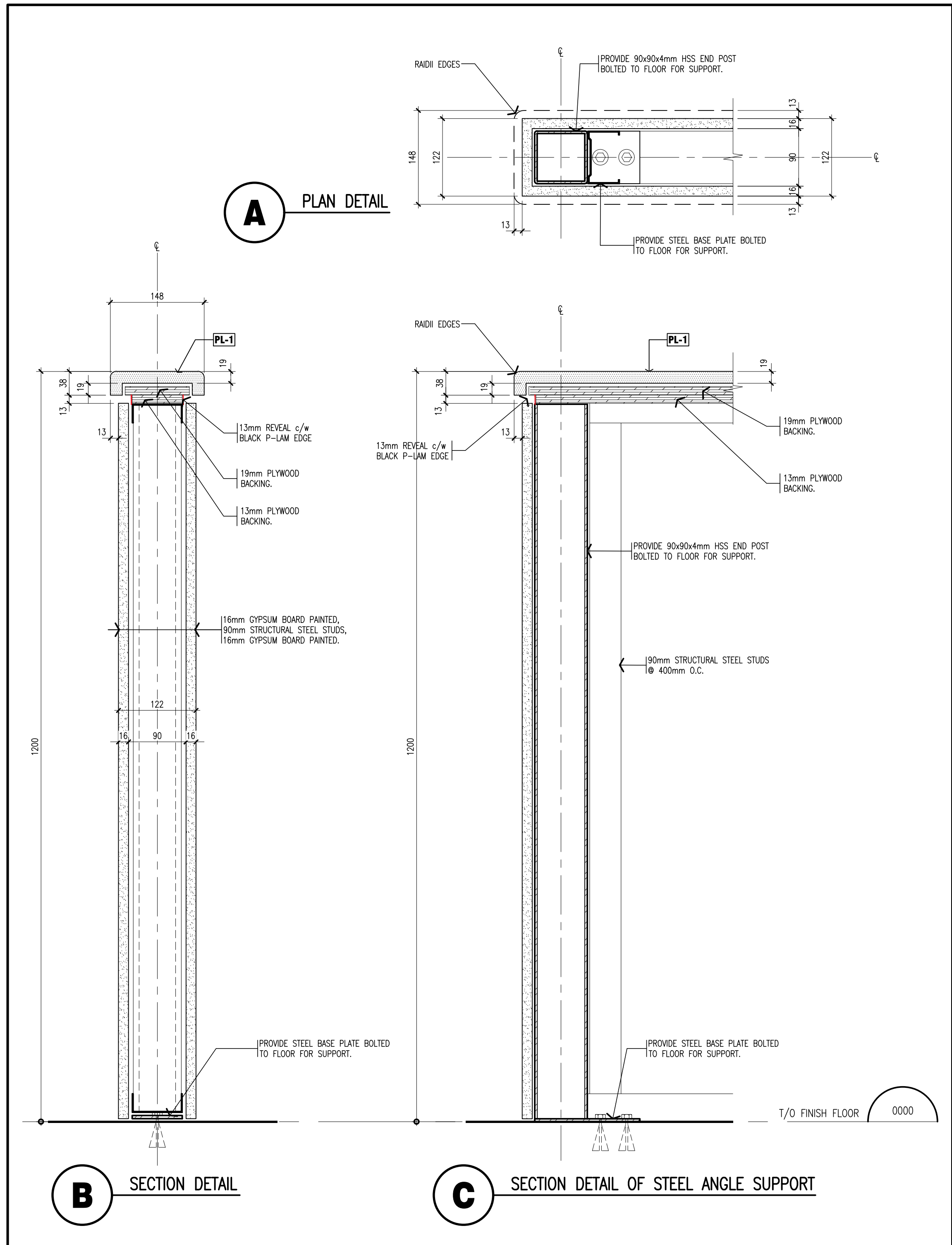
3 FLOORING TRANSITION STRIP DETAILS

scale: 1:2



2 TYPICAL DEFLECTION TRACK DETAIL

scale: 1:5

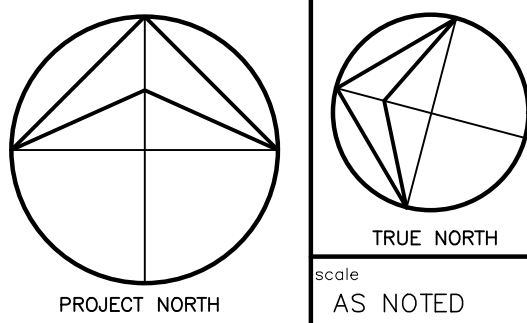


4 KNEE WALL DETAILS

scale: 1:5

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No.	REVISIONS	date
04	ISSUED FOR CONSTRUCTION	2026.07.07
03	ISSUED FOR ADDENDUM #1	2026.04.21
02	ISSUED FOR PERMIT	2026.04.17
01	ISSUED FOR TENDER	2026.03.24



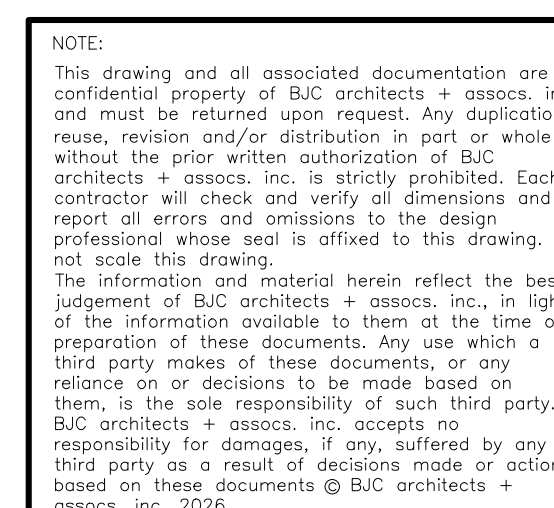
drawn by	DE
last worked on by	2026.04.21 CRT
checked by	B.R.J.
print date	2026.07.07



client	WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE KITCHENER ONTARIO	
project	CHALMERS PUBLIC SCHOOL RENOVATION
35 CHALMERS STREET SOUTH CAMBRIDGE ONTARIO	

drawing title
WALL SECTIONS & DETAILS

reference	
project no.	25-104
client reference number	
sheet no.	A-30104



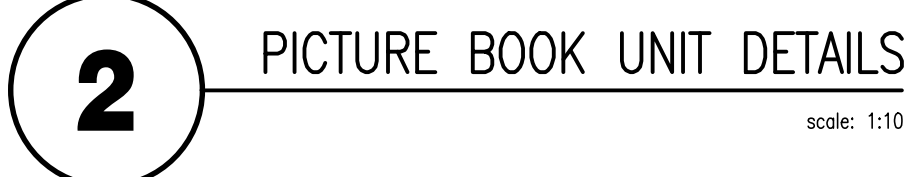
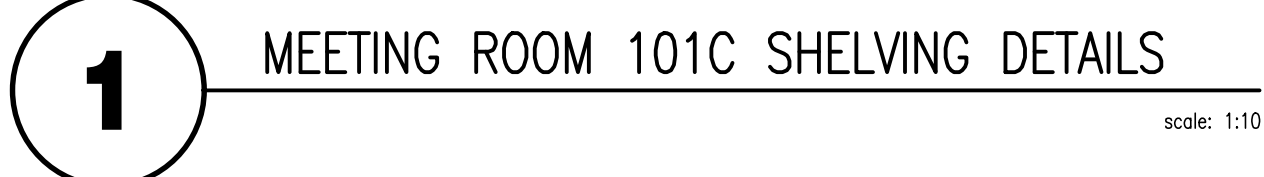
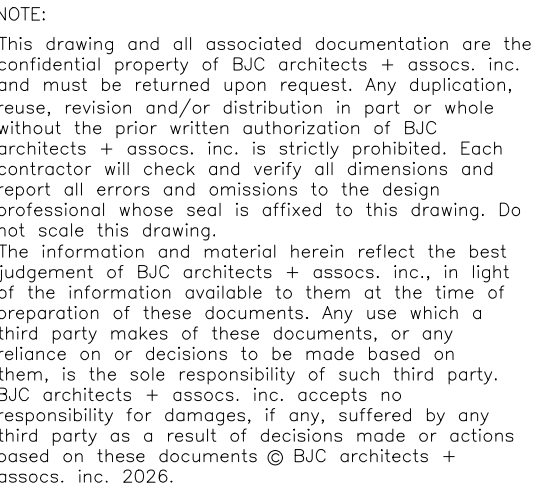
1. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY ERRORS OR OMISSIONS TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING WITH THE WORK. PRINTS ARE NOT TO BE SCALED.
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR A COMPLETE SCOPE OF WORK.

	NEW STUD WALL.
	EXISTING BLOCK WALL.
	NEW RUBBER WALL BASE.
	OUTLINE OF NEW BLOCK INFILL.

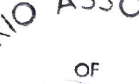
01	PICTURE BOOK SHELVING. 14" INTERIOR SHELVING HEIGHT.
02	FICTION/STANDARD BOOK SHELVING. 12" INTERIOR SHELVING HEIGHT.
03	NON-FICTION BOOK SHELVING. 14" INTERIOR SHELVING HEIGHT.
04	EXISTING RADIATOR TO REMAIN AND TO BE PAINTED.
05	NEW WHITEBOARD/TACKBOARD, SUPPLIED AND INSTALLED BY GC.
06	NEW HOLLOW METAL GLAZING SCREEN.
07	EXISTING COPIER RELOCATED. SUPPLIED BY OWNER.
08	BARRIER FREE DOOR OPERATOR. REFER TO ELECTRICAL DRAWINGS.
09	NEW TV SUPPLIED BY OWNER & INSTALLED BY GC.
10	NEW HOLLOW METAL DOOR, FRAME AND DOOR TO BE PAINTED.
11	NEW PIPE CHASE - 13mm GYPSUM BOARD ON STUD PLACING

reference	
project no. 25-104	client reference number
sheet no.	
A - 500 02	





02	ISSUED FOR CONSTRUCTION	2026, 07.07	
01	ISSUED FOR TENDER	2026, 03.24	
No.	REVISIONS		date

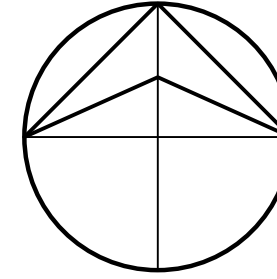
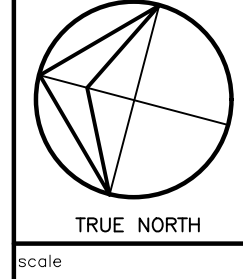
	drawn	
	NJB	
	last worked on	by
	2026.03.20	VA
	checked	
	B.R.J.	
	print date	
	2026.07.07	



client	
WATERLOO REGION DISTRICT SCHOOL BOARD	
51 ARDELT AVENUE KITCHENER	ONTARIO
project	
CHALMERS PUBLIC SCHOOL RENOVATION	
35 CHALMERS STREET SOUTH CAMBRIDGE	ONTARIO

drawing title	
MILLWORK DETAILS	
reference	
project no. 25-104	client reference number
sheet no.	
A - 5 1 0 0 2	

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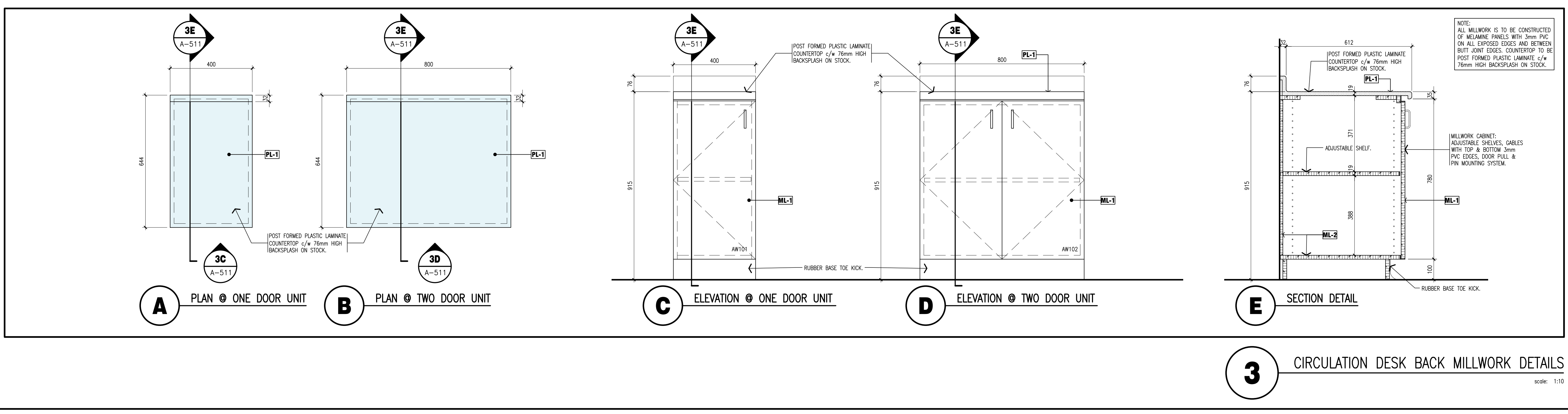
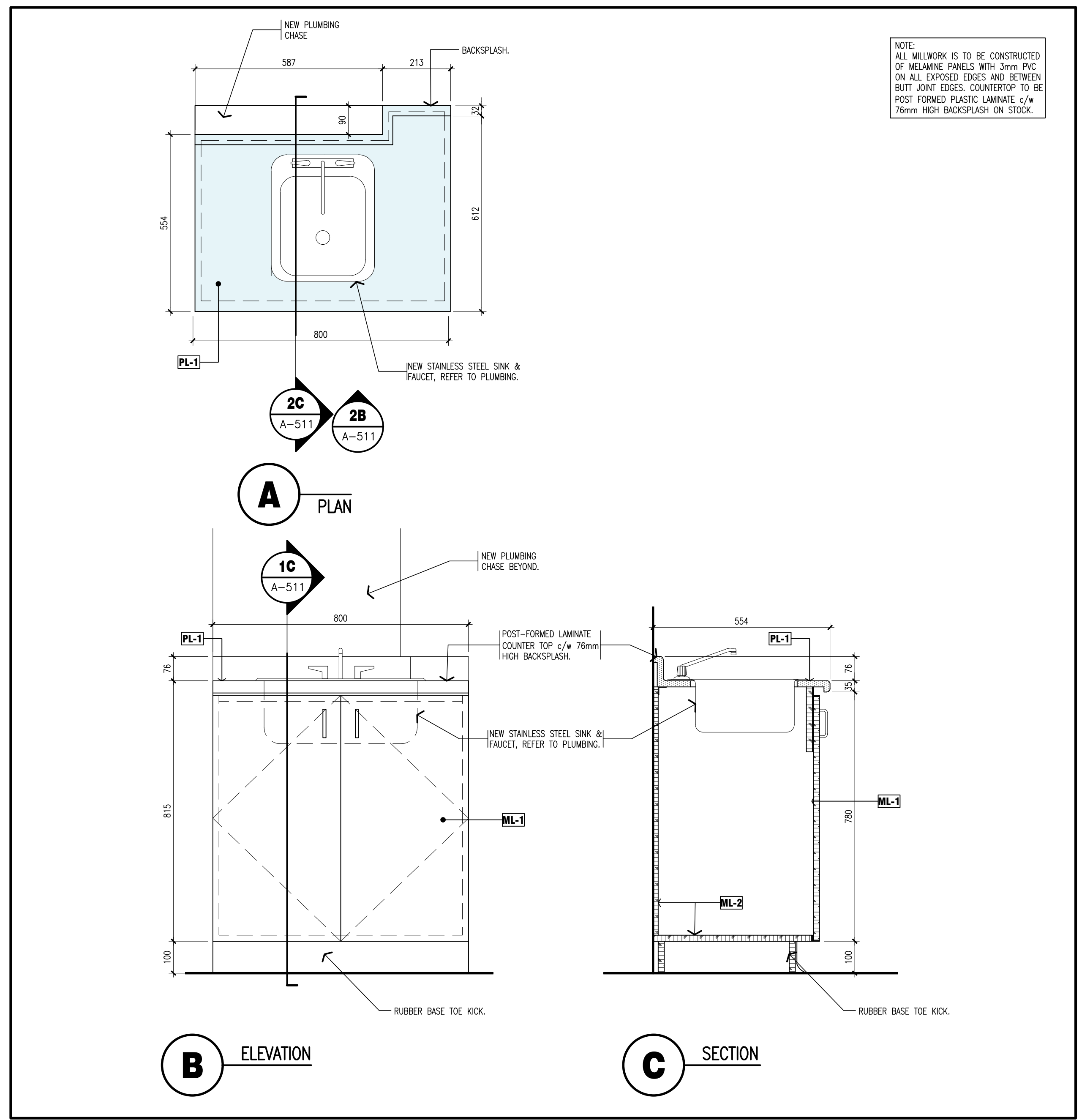
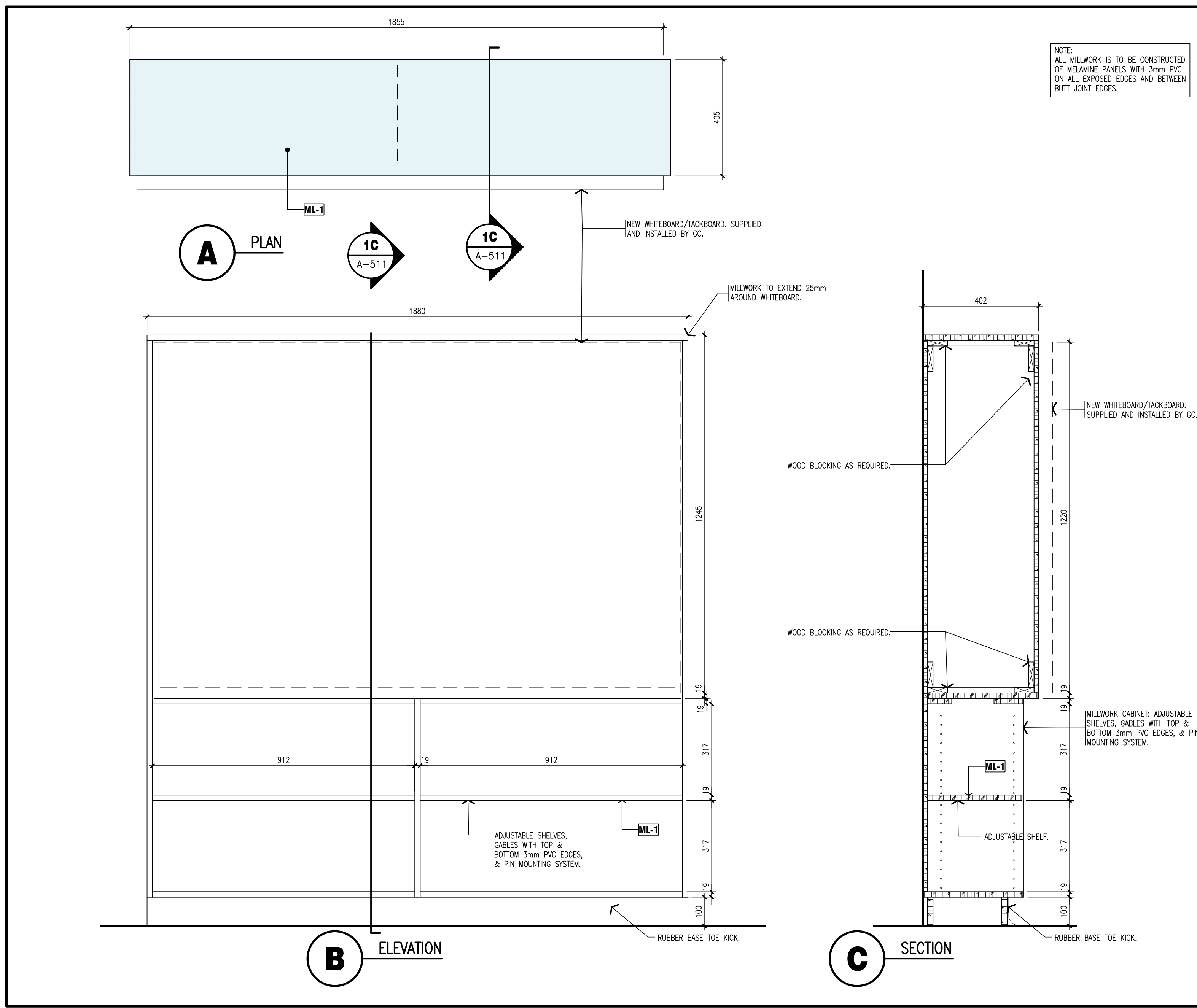
02	ISSUED FOR CONSTRUCTION	2026.07.07
01	ISSUED FOR TENDER	2026.03.24
No.	REVISIONS	date
		
PROJECT NORTH	TRUE NORTH	
	scale	AS NOTED

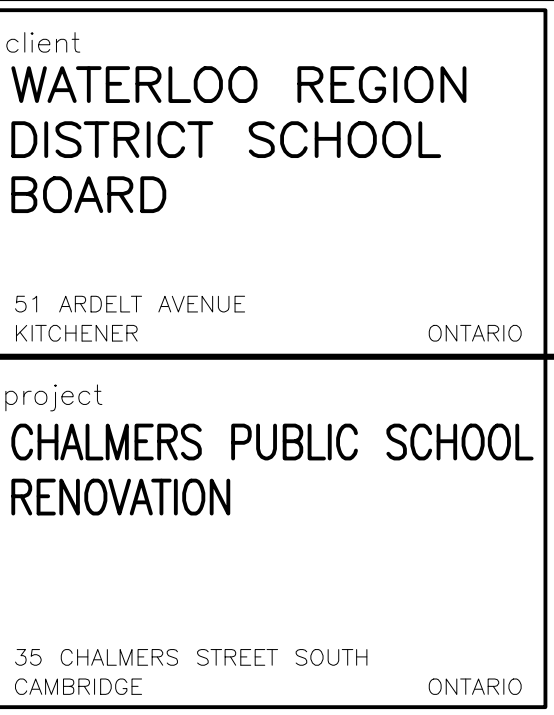
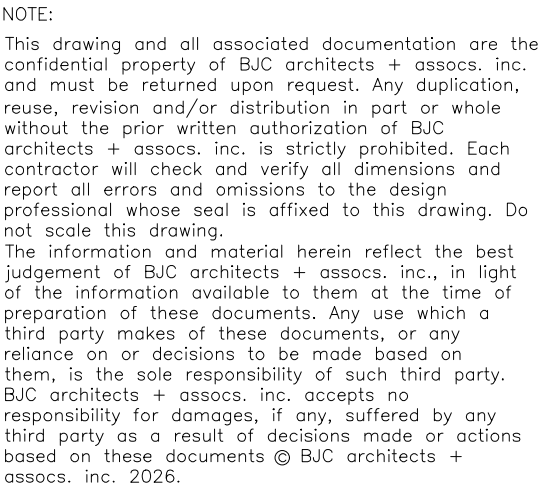
	drawn	NJB
	last worked on by	2026.03.20 VA
	checked	B.R.J.
	print date	2026.07.07
	scale	

BJC
architects + assocs. inc.

client
**WATERLOO REGION
DISTRICT SCHOOL
BOARD**
51 ARDELT AVENUE
KITCHENER ONTARIO
project
**CHALMERS PUBLIC SCHOOL
RENOVATION**
35 CHALMERS STREET SOUTH
CAMBRIDGE ONTARIO

drawing title
MILLWORK DETAILS
reference
project no. 25-104 client reference number
sheet no. **A-51102**
scale: 1:10





drawing title	
MILLWORK DETAILS	
reference	
project no. 25-104	client reference number
sheet no.	
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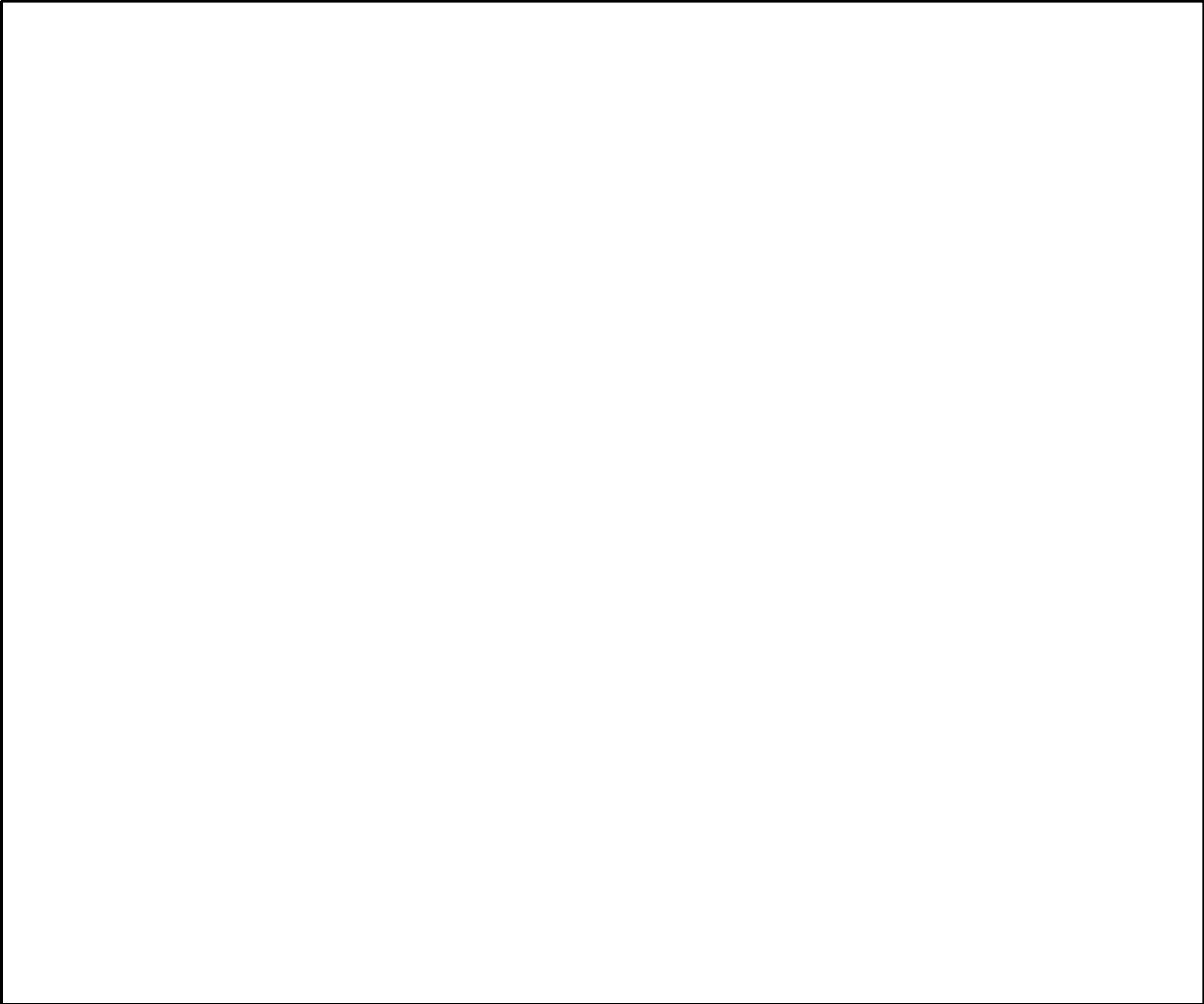


NOTE:
ALL MILLWORK IS TO BE CONSTRUCTED
OF MELAMINE PANELS WITH 3mm PVC
ON ALL EXPOSED EDGES AND BETWEEN
BUTT JOINT EDGES.

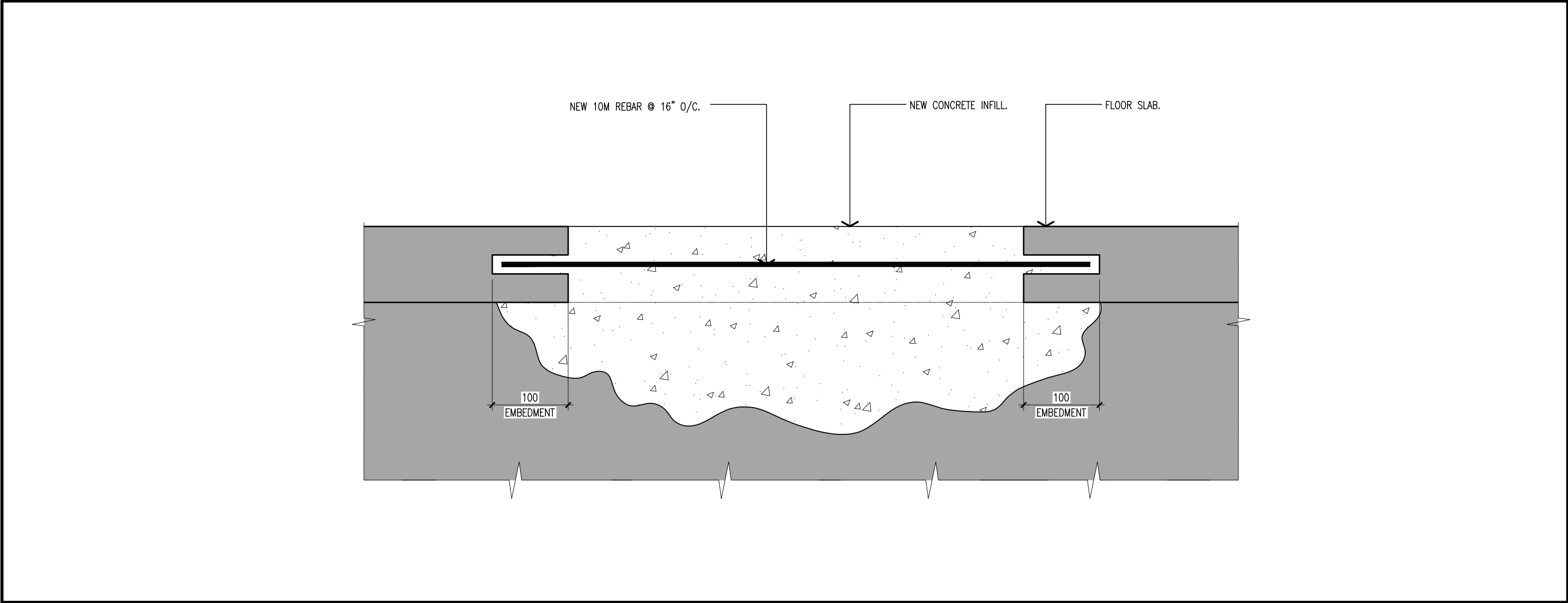
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scale: 1:10

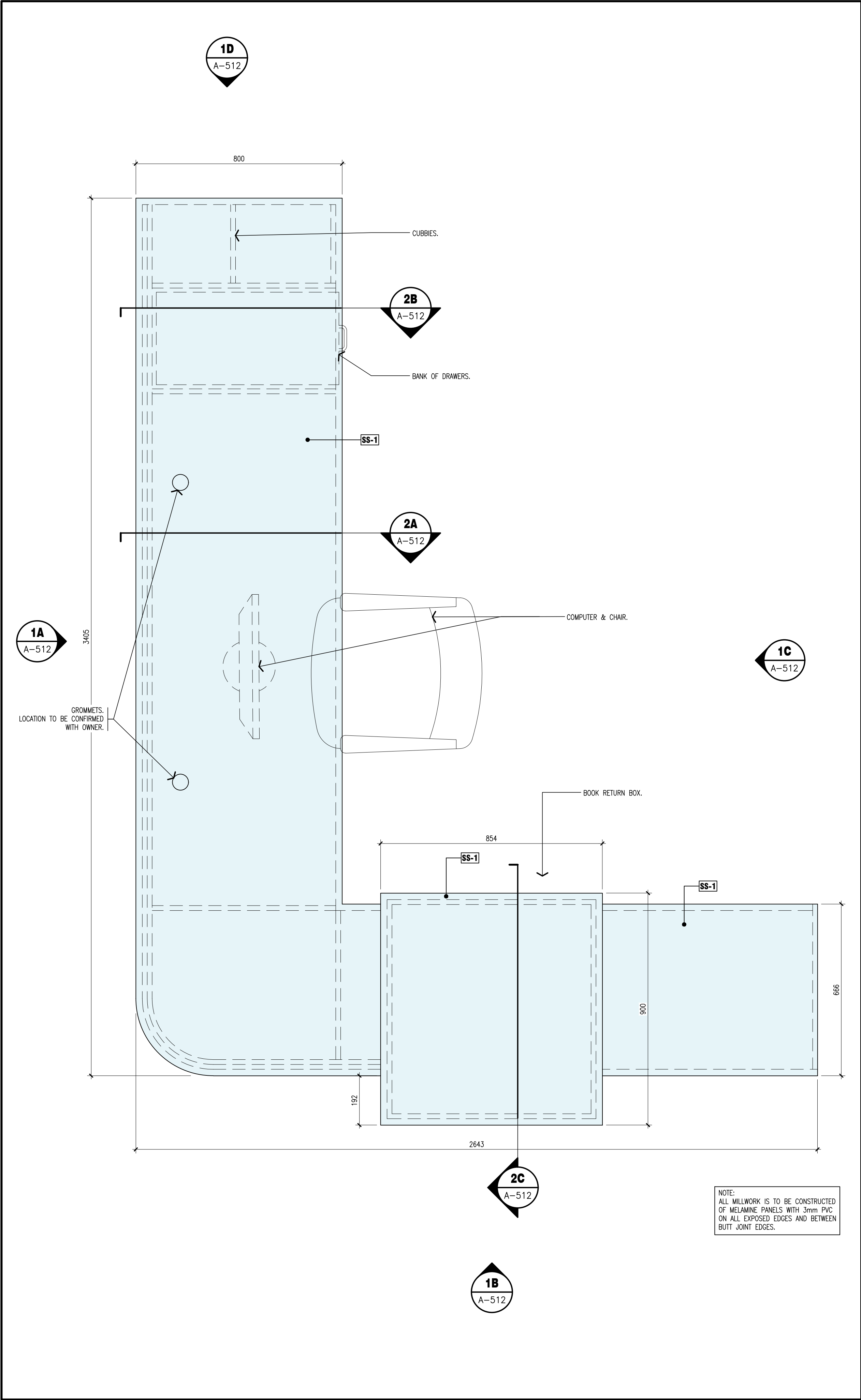


1 RESERVED



2 NEW SLAB TIE-IN DETAIL

scale: 1:5



3 CIRCULATION DESK PLAN DETAIL

scale: 1:10

Waterloo Region
District School Board

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02	ISSUED FOR CONSTRUCTION	2026.07.07
01	ISSUED FOR TENDER	2026.03.24
No.	REVISIONS	date

PROJECT NORTH

TRUE NORTH

scale
AS NOTED

ONTARIO ASSOCIATION
OF
ARCHITECTS
BARRY JOHNSON
LICENCE
SS&K

drawn
NJB

last worked on by
2026.07.08 VA

checked
B.R.J.

print date
2026.07.07

client
WATERLOO REGION
DISTRICT SCHOOL
BOARD

51 ARDELT AVENUE
KITCHENER ONTARIO

project
CHALMERS PUBLIC SCHOOL
RENOVATION

35 CHALMERS STREET SOUTH
CAMBRIDGE ONTARIO

drawing title
MILLWORK AND
OTHER DETAILS

reference

project no.
25-104

client reference number

sheet no.

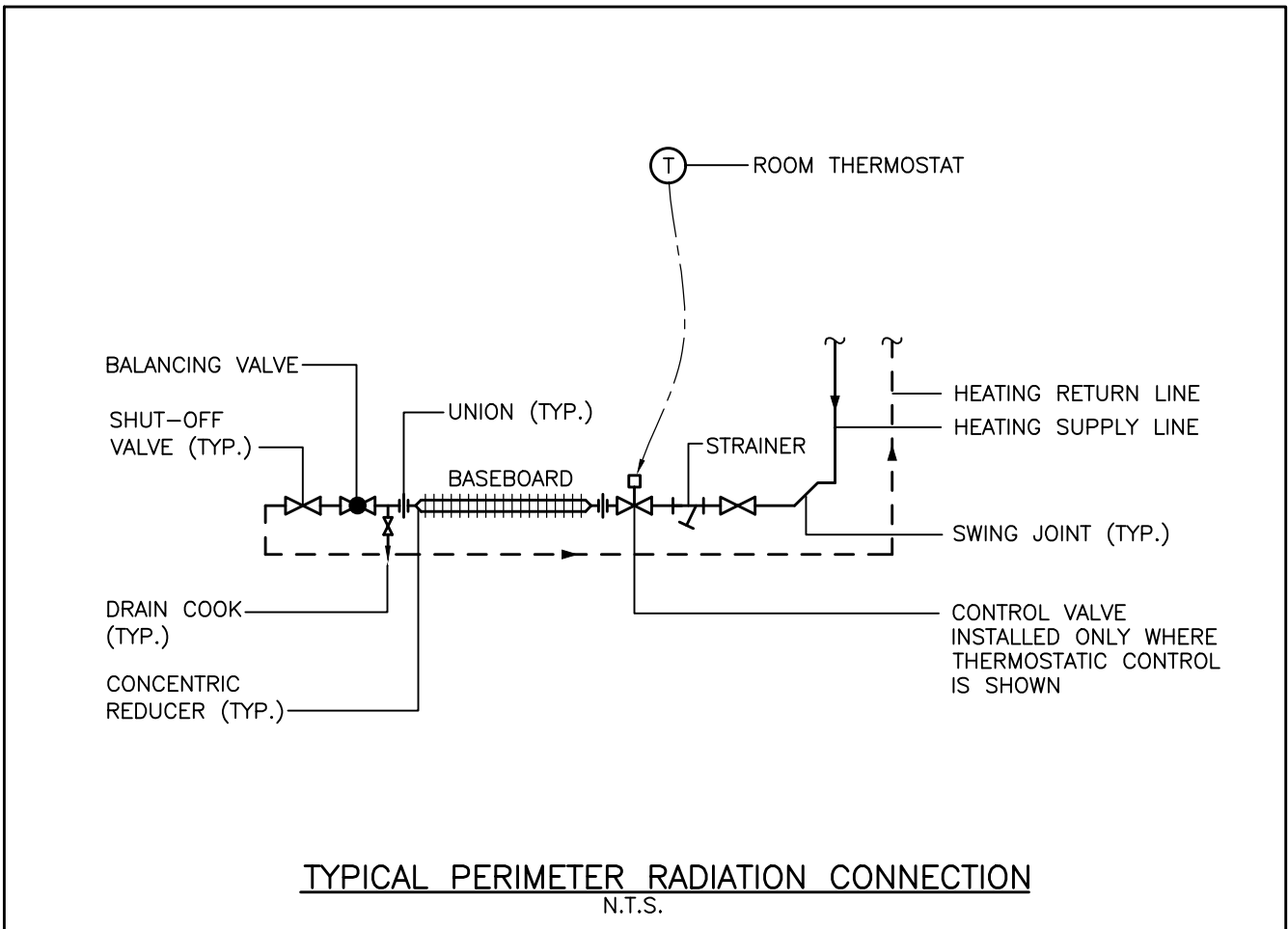
A - 513 02

PLUMBING FIXTURE SCHEDULE						
REF.	FIXTURE NAME	DHW	DCW	DRAIN	VENT	
LV-1	COUNTER MOUNTED STAINLESS STEEL SINK – SINGLE COMPARTMENT	12	12	40	40	

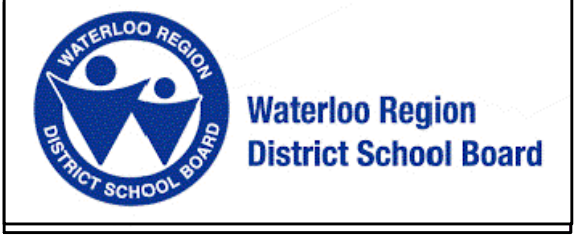
SCHEDULE OF GRILLES & DIFFUSERS						
TYPE	SERVICE	MANUFACTURER	MODEL	VOLUME CONTROL	FINISH	REMARKS
A	EXHAUST	E.H. PRICE	530	YES	B12	
B	SUPPLY	E.H. PRICE	SCDA	YES	B12	

SCHEDULE OF CONVECTORS											
TAG	HEATING OUTPUT		HEATING AGENT		TUBE DIAM (MM)	FIN SIZE (MMxMM)	FIN SPACING (FINS/M)	ROW	MOUNTING HEIGHT MM [IN]		REMARKS
	(W/M)	(BTU/FT)	SUPPLY °C [°F]	RETURN °C [°F]					AFF	ENCLOSURE	
WF-A	1130	1170	82 [180]	71 [160]	32	102x102	164	1	TBD	610 [24]	SLOPED TOP & BOTTOM OUTLETS, HEIGHT TO BE COORDINATED WITH MILLWORK

DESIGN BASED ON ENGINEERED AIR WALL-FIN WF-1B



MECHANICAL SYMBOLS	
	EXPOSED SANITARY DRAIN
	BURIED SANITARY DRAIN
	EXPOSED STORM DRAIN
	BURIED STORM DRAIN
	SANITARY VENT
	DOMESTIC COLD WATER SUPPLY
	DOMESTIC HOT WATER SUPPLY
	DOMESTIC HOT WATER RECIRC
	PLUMBING TRAP
	PIPE TURNING DOWN
	PIPE TURNING UP
	VENT THROUGH ROOF
	FLOOR DRAIN
	CLEANOUT IN FLOOR
	CLEANOUT IN CEILING SPACE
WC-1	DENOTES PLUMBING FIXTURE AS PER SPECIFICATION
	DENOTES: EQUIPMENT OR PIPING TO BE REMOVED
	AUTOMATIC CONTROL VALVE – TWO WAY
	MIXING OR DIVERTER VALVE (3-WAY)
	VALVE
	HEATING WATER SUPPLY
	ROOM THERMOSTAT
	SEMI-RECESSED SPRINKLER
	EXHAUST OR RECIRC. GRILLE
	SUPPLY AIR CEILING DIFFUSER
	FLEXIBLE DUCT
CTE	DENOTES: CONNECT TO EXISTING
CUT	DENOTES: CUT POINT OF EXISTING SERVICE



NOTE:
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04	ISSUED FOR CONSTRUCTION	2026.07.07
03	RE-ISSUED FOR PERMIT	2026.06.01
02	ISSUED FOR ADDENDUM #1	2026.04.20
01	ISSUED FOR TENDER	2026.03.24
No.	REVISIONS	date
PROJECT NORTH	TRUE NORTH	scale AS NOTED

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2026.03.06 JM

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print date

24/03/26

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KITCHENER

ONTARIO

project

CHALMERS PUBLIC SCHOOL
RENOVATION

35 CHALMERS STREET SOUTH
CAMBRIDGE

ONTARIO

drawing title

KEY PLAN, LEGEND,
SCHEDULES, &
DETAILS

reference

project no.

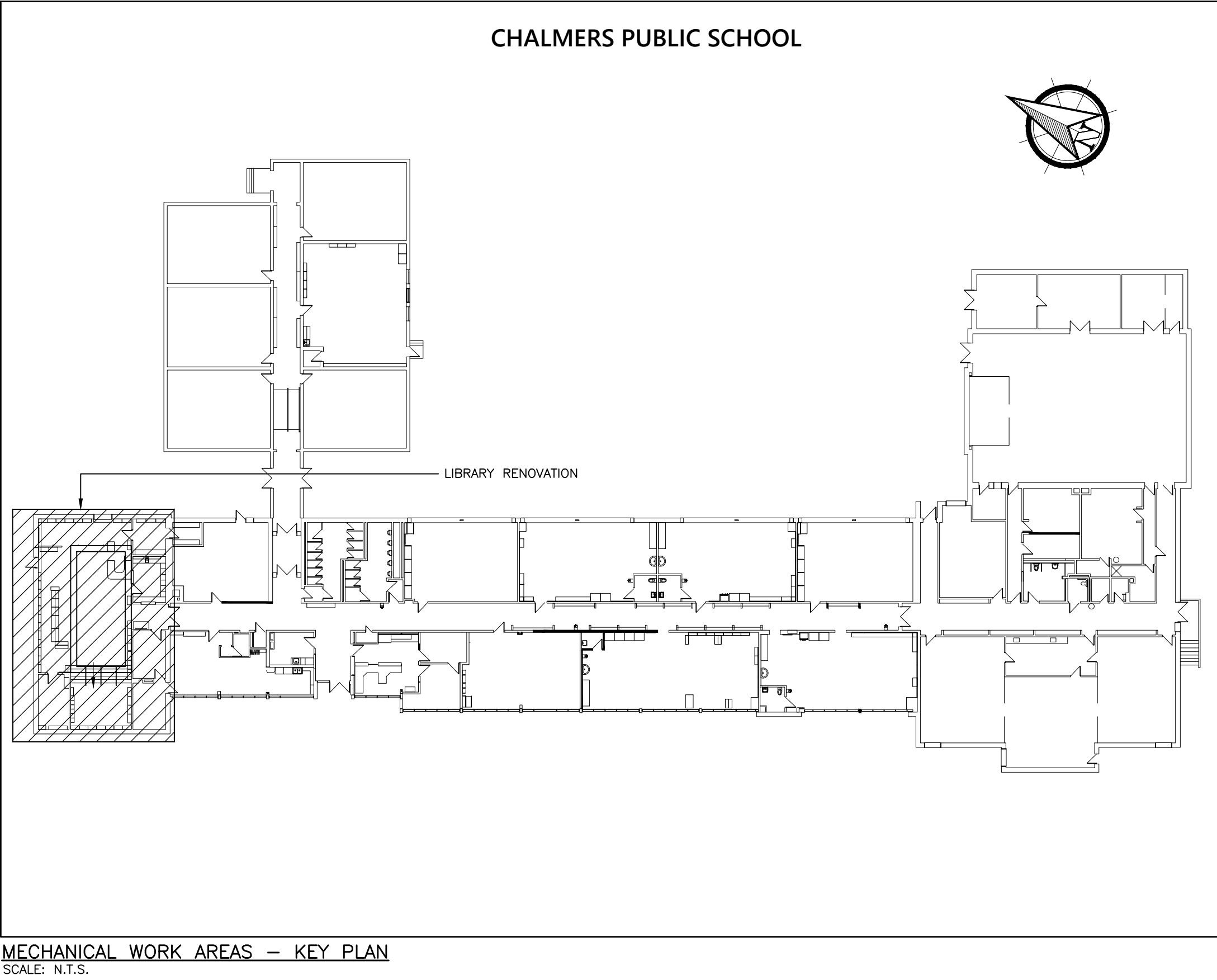
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client reference number

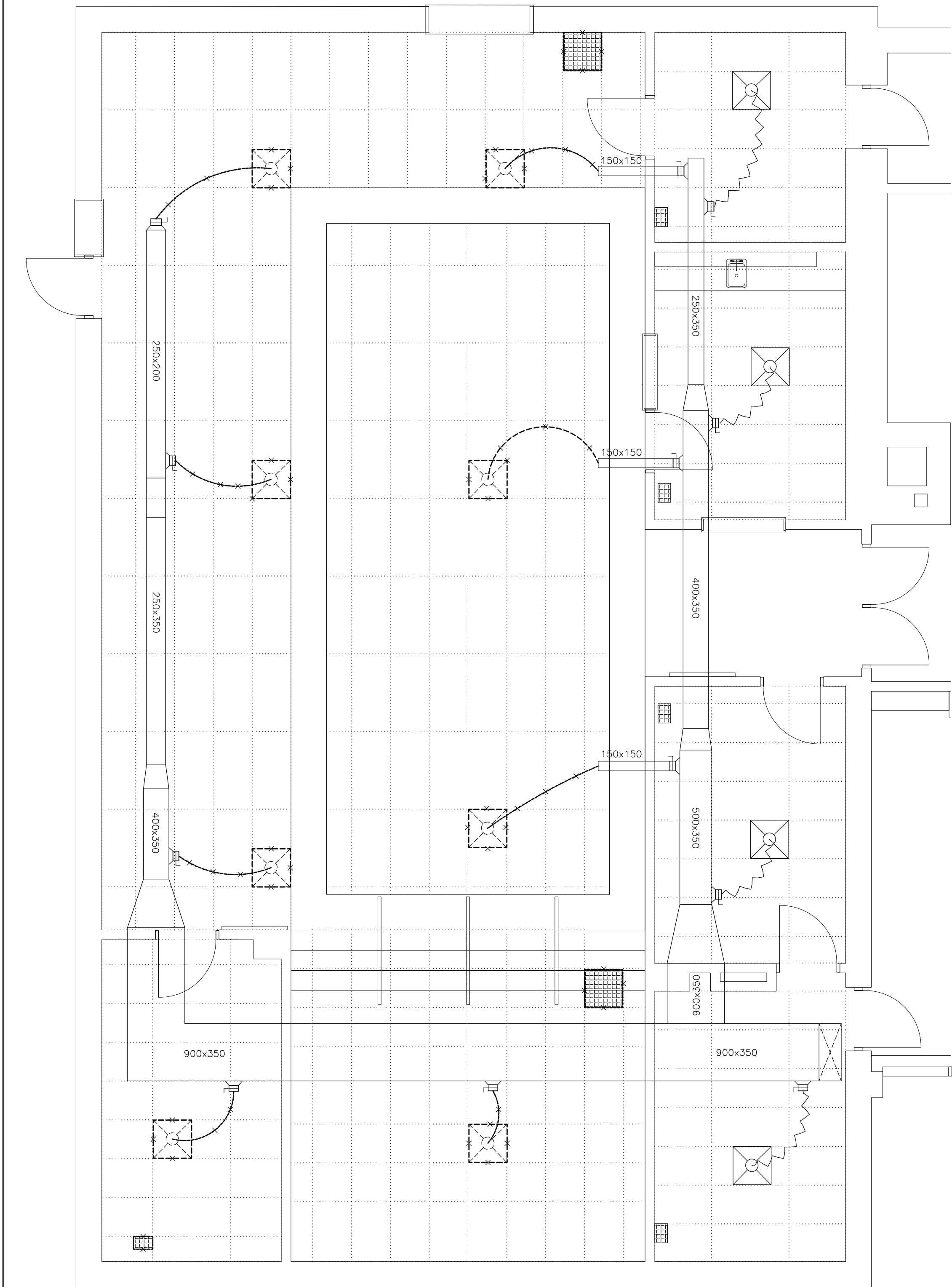
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M- 01

01



MECHANICAL WORK AREAS – KEY PLAN
SCALE: N.T.S.



GROUND FLOOR LIBRARY — HVAC LAYOUT — EXISTING AND DEMO WORK
SCALE: 1:50

DEMOLITION NOTES:

THESE NOTES SHALL BE READ IN CONJUNCTION WITH, AND SHALL FORM AN INTEGRAL PART OF THE SPECIFICATIONS.

PRIOR TO COMMENCING THE DEMOLITION WORK, EXAMINE CAREFULLY THE ELEMENTS OF THE EXISTING PLUMBING TO BE REMOVED. FOR REASONS OF CLARITY, THE DRAWINGS DO NOT SHOW ALL BUILDING SERVICES LOCATED IN THIS AREA OR ALL STRUCTURAL ELEMENTS. ALL BUILDING SERVICES AND OTHER UTILITIES NOT AFFECTED BY THIS WORK SHALL REMAIN OPERATIONAL. ANY DAMAGE TO BUILDING SERVICES AND UTILITIES NOT AFFECTED BY THE WORK SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR, AT NO COST TO THE BOARD.

THE SIZES AND LOCATION OF PIPING, EQUIPMENT AND OTHER UTILITIES INDICATED ON THE DRAWINGS WERE BASED ON EXISTING DRAWINGS. MAKE ANY CHANGES REQUIRED TO SUIT THE ACTUAL SITE CONDITIONS AT NO COST TO THE BOARD.

THE DEMOLITION WORK SHALL INCLUDE THE TEMPORARY OR PERMANENT RELOCATION OF ANY EXISTING BUILDING SERVICES OR ARCHITECTURAL ELEMENTS NOT SPECIFICALLY MENTIONED HEREIN BUT OBVIOUSLY NECESSARY FOR THE INSTALLATION OF THE NEW EQUIPMENT (SUCH AS, DRAINS, SANITARY VENTS, LIGHTING FIXTURES, CONDUITS, JUNCTION BOXES AND SIMILAR). AT THE CONCLUSION OF THE WORK, ALL BUILDING SERVICES AND ARCHITECTURAL ELEMENTS TEMPORARILY REMOVED SHALL BE REINSTATED AND MADE GOOD TO THEIR ORIGINAL CONDITION.

COORDINATE THE DEMOLITION WORK WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

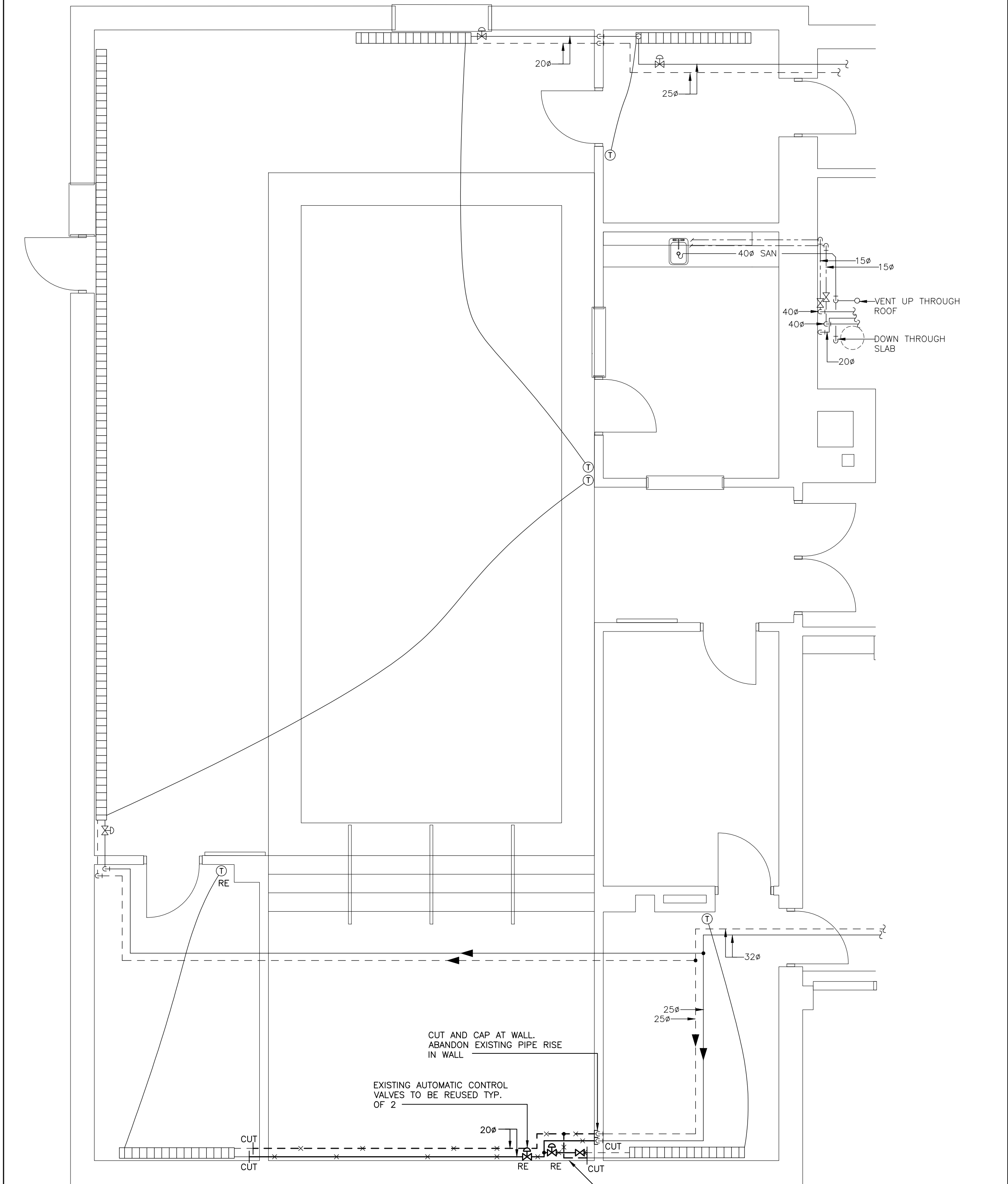
THE DRAWINGS DO NOT SHOW ALL STRUCTURAL ELEMENTS AND BUILDING SERVICES. INSTALL THE NEW DUCTING SUCH AS TO AVOID INTERFERENCES WITH EXISTING BUILDING SERVICES AND OTHER UTILITIES LOCATED IN THE CEILING SPACE. RELOCATE EXISTING SERVICES IF SO REQUIRED TO ACCOMMODATE THE NEW PIPING AND DUCTWORK, AT NO ADDITIONAL COST TO THE BOARD.

CONTRACTOR TO INCLUDE FOR REMOVAL EXISTING T-BAR CEILING IN THE WORK AREAS AS PER THE ARCHITECTURAL DRAWINGS. INCLUDE FOR REMOVAL OF CEILING TILES, LIGHTING, DIFFUSERS, AND ANY OTHER SERVICES SUCH AS FIRE ALARM DEVICES THAT NEED TO BE REMOVED. ANY REMOVED AND RE-INSTALLED FIRE ALARM DEVICES SHALL BE RE-VERIFIED.

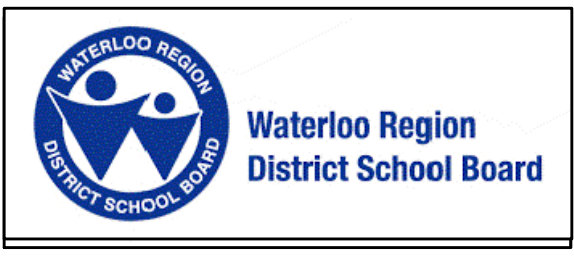
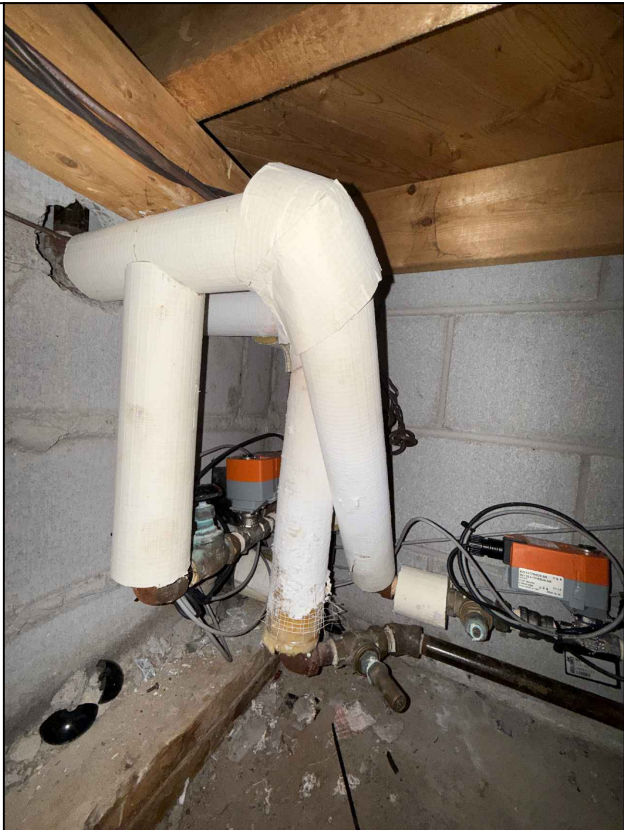
REMOVE EXISTING HEATING PIPING RUNNING UNDER THE EXISTING ELEVATED STAGE AREA APPROXIMATELY AS SHOWN. CAP AND ABANDON EXISTING PIPING IN WALLS. ALL EXISTING CONTROL VALVES SHALL BE RE-USED FOR NEW INSTALLATION.

DISPOSE OF ALL REMOVED MATERIALS OFF-SITE AND LEAVE THE SITE CLEAN FOR SUBSEQUENT WORK.

COORDINATE PHASING OF THE DEMOLITION WORK WITH THE ARCHITECT DRAWINGS AND SPECIFICATIONS.



GROUND FLOOR LIBRARY — ABOVE GROUND PIPING LAYOUT — EXISTING AND DEMO WORK
SCALE: 1:50



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project
CHALMERS PUBLIC SCHOOL
RENOVATION

35 CHALMERS STREET SOUTH
CAMBRIDGE ONTARIO

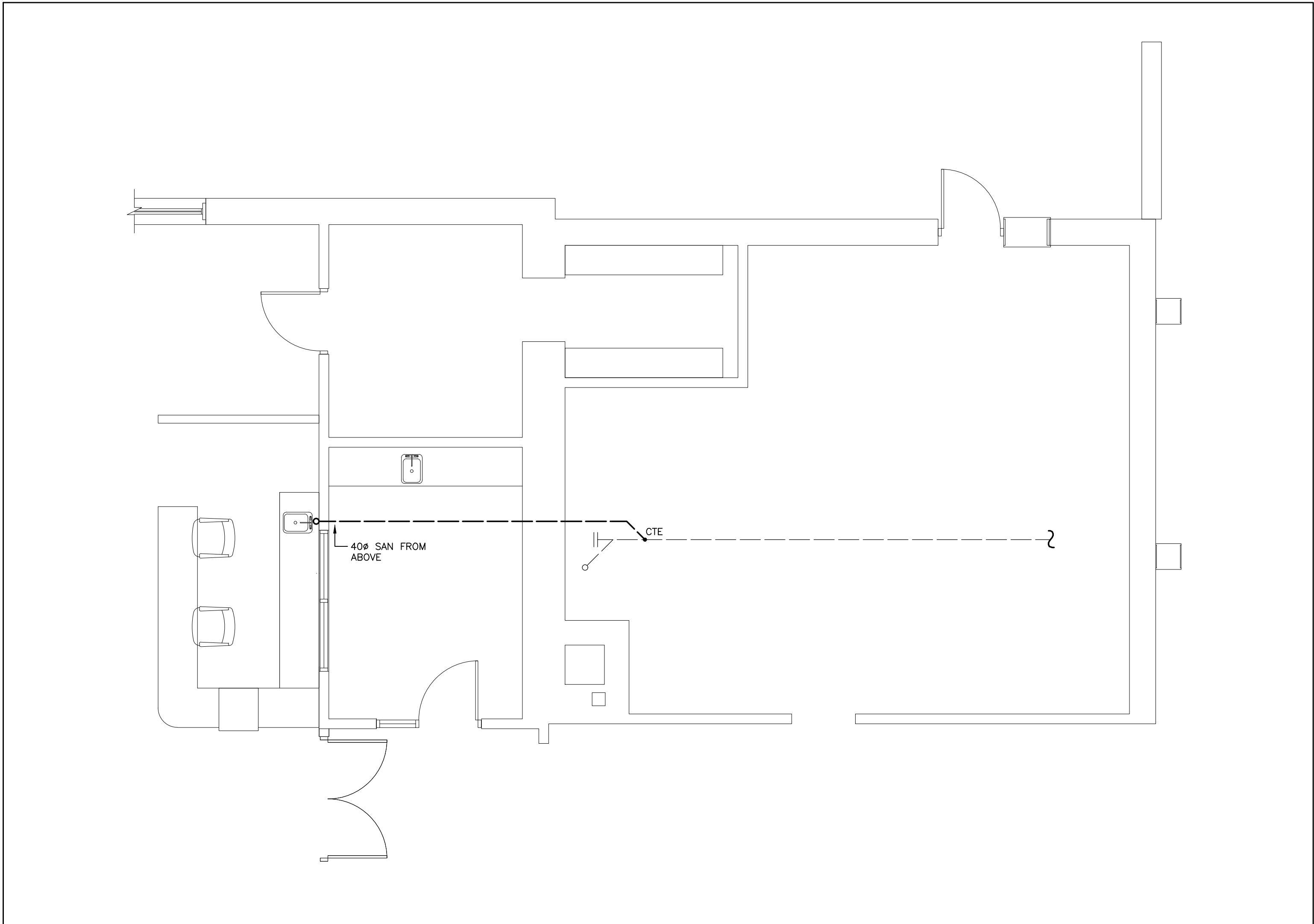
drawing title
HVAC & PIPING
LAYOUT — EX. &
DEMOLITION

reference

project no.
25-104

client reference number

sheet no.
M- 02 **01**



GROUND FLOOR LIBRARY & BOILER ROOM — BELOW GROUND PIPING LAYOUT — NEW WORK
SCALE: 1:50

GENERAL NEW WORK NOTES:

THE DRAWINGS DO NOT SHOW ALL STRUCTURAL ELEMENTS AND BUILDING SERVICES LOCATED ON THE ROOF OR IN THE CEILING BELOW..

THE SIZES AND LOCATION OF PIPING, EQUIPMENT AND DUCTWORK SHOWN ON THE DRAWINGS WERE SITE MEASURED. MAKE ANY CHANGES REQUIRED TO SUIT THE ACTUAL SITE CONDITIONS AT NO COST TO THE OWNER.

ALL TEMPORARY INTERRUPTION OF SERVICES SHALL BE COORDINATED WITH THE OWNER.

PROVIDE NEW SANITARY AND VENT PIPING FOR NEW COUNTER MOUNTED SINK. THE CONTRACTOR IS TO INCLUDE FOR ALL FLOOR AND SLAB REMOVAL AND REPAIR AS REQUIRED TO COMPLETE THE INSTALLATION OF NEW PIPING (SANITARY, DCW, DHW, VENTING). EXACT ROUTING OF SANITARY TO BE CONFIRMED ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR SCANNING AND/OR CAMERA INSPECTION TO VERIFY EXACT LOCATION AND INVERT OF EXISTING SANITARY LINE.

CONNECT VENT TO EXISTING VENT LINE IN BOILER ROOM.

PROVIDE ALL TRAPS, TRAP PRIMERS, AND VENTS AS PER OBC REQUIREMENTS.

COORDINATE THE LAYOUT OF ALL NEW PIPING AND DUCTWORK WITH THE EXISTING SERVICES AND EQUIPMENT.

CONNECT NEW DOMESTIC COLD AND HOT WATER FOR NEW SINK TO EXISTING LINES IN THE BOILER ROOM APPROXIMATELY AS SHOWN, VERIFY EXACT LOCATION ON SITE. PROVIDE NEW SHUT-OFF VALVES.

PROVIDE NEW SUPPLY FLEXIBLE DUCTWORK AND DIFFUSERS IN THE LIBRARY APPROXIMATELY AS SHOWN. PROVIDE NEW RETURN GRILLES AS SHOWN. CONTRACTOR TO VERIFY EXACT DUCT ROUTING ON SITE AND MAKE ADJUSTMENTS AS NECESSARY. ALLOW FOR ADDITIONAL OFFSETS, TRANSITIONS, AND ELBOWS AS REQUIRED TO COMPLETE THE INSTALLATION.

COORDINATE DUCTWORK INSTALLATION WITH EXISTING SERVICES IN THE CEILING SPACE SUCH AS STRUCTURAL AND ELECTRICAL ELEMENTS.

PERFORM AIR BALANCING AND MAKE ALL NECESSARY ADJUSTMENTS SO AS TO ENSURE THAT THE UNITS OPERATES AS PER SPECIFIED PARAMETERS. ALL COMPONENTS OF THE NEW UNIT AIR SYSTEM SHALL BE ADJUSTED AND STARTED-UP BY THE MANUFACTURER; PROVIDE START-UP REPORT UPON PROJECT COMPLETION.

PROVIDE ADEQUATE SUPPORT FOR ALL NEW DUCTWORK.

ENSURE THAT ALL ISOLATION VALVES FOR NEW PLUMBING FIXTURES ARE ACCESSIBLE FOR MAINTENANCE.

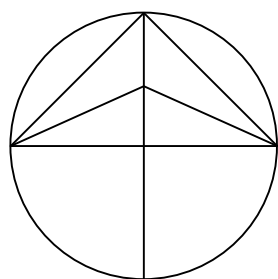
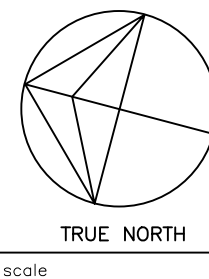
PROVIDE NEW RADIATOR AT HIGH LEVEL TO SERVE NEW MEETING ROOM. PROVIDE NEW PIPING AND VALVES AS PER DETAIL ON M-1.

PROVIDE NEW HWS/HWR PIPING ABOVE CEILING TO SERVE EXISTING AND NEW RADIATORS IN THE MEETING ROOM, SEMINAR ROOM, AND EXISTING WORK ROOM. RE-CONNECT TO EXISTING PIPING IN CEILING SPACE. RE-INSTALL EXISTING CONTROL VALVES FOR SEMINAR ROOM AND WORK ROOM. PROVIDE NEW CONTROL VALVE FOR NEW RADIATOR IN MEETING ROOM. ALL PIPING TO DROP TO RADIATORS IN NEW DRYWALL SHAFTS, REFER TO ARCHITECTURAL DRAWINGS. CONTRACTOR TO VERIFY EXACT ROUTING OF NEW PIPING ON SITE.

PROVIDE NEW INSULATION FOR ALL NEW DUCTWORK AND PIPING AS PER SPECIFICATIONS.



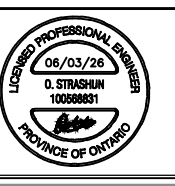
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PROJECT NORTH		
		scale
		AS NOTED

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ONTARIO

project

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RENOVATION

35 CHALMERS STREET SOUTH
CAMBRIDGE

ONTARIO

drawing title

U/G PIPING
LAYOUT — NEW
WORK

reference

project no.
25-104

client reference number

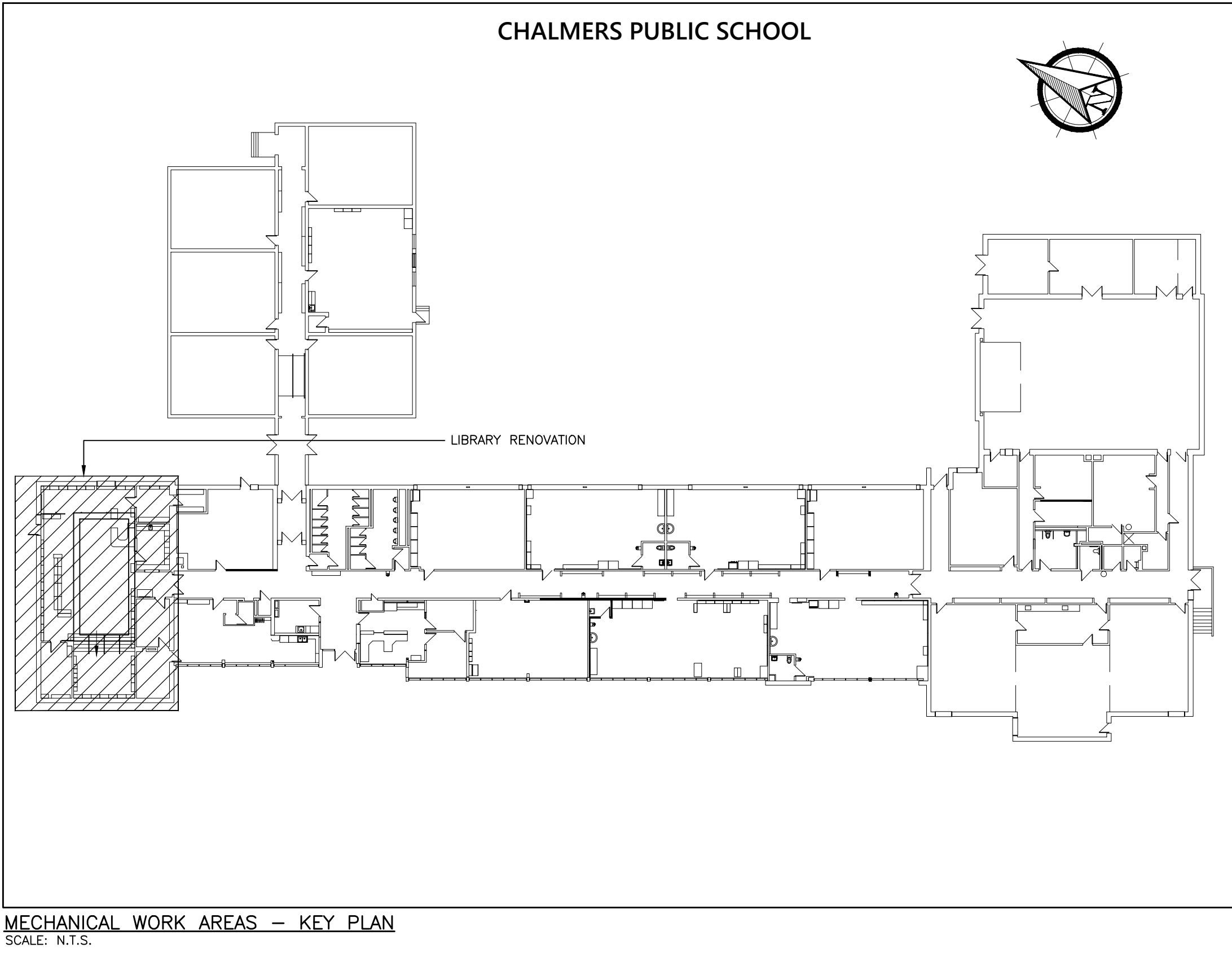
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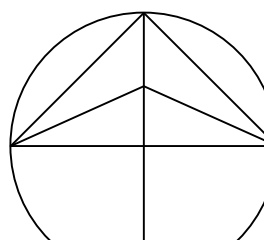
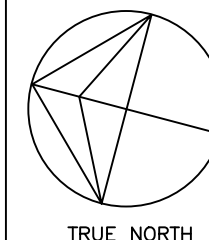
01

NEW LIGHTING SCHEDULE										
SYMBOL	PRODUCT DESCRIPTION	LAMP				MOUNTING				NOTES
		VOLTAGE	QUANTITY	WATTAGE	TYPE	RECESSED	SURFACE	SUSPENDED	WALL	
"A" 	24X48 LED RECESSED PANEL LIGHT FIXTURE LED MODEL#COLUMBIA- CBT24	120V	18	–	LED	X	–	–	–	
"B" 	LED RECESSED POT LIGHT MODEL#LFR-4RD	120V	14	–	LED	X	–	–	–	
"C" 	24X2.4 LED SUSPENDED PENDANT RAIL 2 RM2D	120V	12	–	LED	–	–	–	–	

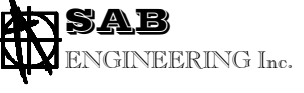
SYMBOLS – ELECTRICAL	
	DIRECT POWER OUTLET FOR USE AS NOTED INCLUDING FINAL CONNECTION.
	ELECTRICAL PANEL
	15A, 120V U-GROUND DUPLEX RECEPTACLE.
	15A, 120V U-GROUND QUADPLEX RECEPTACLE.
	15A, 120V U-GROUND DUPLEX RECEPTACLE MOUNTED AT HIGH LEVEL OR ABOVE COUNTER.
	40A 240V, 1P STOVE RECEPTACLE
	EMERGENCY LIGHTING REMOTE HEAD AS SHOWN. REFER TO SCHEDULE ON DRAWINGS AND SPECIFICATIONS FOR DETAILS
	RATE OF RISE HEAT DETECTOR
	ROOM CONTROL PANEL. INSTALLED BY ELECTRICAL DIVISION.
	ELECTRICAL PANEL, SURFACE OR FLUSH RESPECTIVELY.
	DATA OUTLET C/W 3/4" WITH 90° BEND AT TOP AND PVC END BUSHING TO ACCESSIBLE CEILING SPACE.
	LIGHTING FIXTURE
	WIRELESS ACCESS POINT WITH DATA OUTLET C/W 3/4" WITH 90° BEND AT TOP AND PVC END BUSHING TO CABLE TRAY IN CORRIDOR CEILING SPACE. PROVIDE CABLING AS PER SPECIFICATIONS. 'XD' – WHERE 'X' DENOTES NUMBER OF CABLES & JACKS.
	SINGLE POLE TOGGLE SWITCHES WITH ONE, TWO OR THREE GANG RESPECTIVELY.
	ROOM CONTROL PANEL WITH DEVICES AS SHOWN. SUPPLIED & INSTALLED BY ELECTRICAL DIVISION. REFER TO SPECIFICATIONS FOR DETAILS.
	PUBLIC ADDRESS SYSTEM SPEAKER
	AV OUTLET C/W HDMI PORT FOR PROJECTOR C/W 41mm CONDUIT
	ROOM THERMOSTAT
	EMERGENCY BATTERY UNIT COMPLETE WITH REMOTE HEAD AS SHOWN. REFER TO SCHEDULE ON DRAWINGS AND SPECIFICATIONS FOR DETAILS.
EX R N ER RE	DENOTES EXISTING TO REMAIN DENOTES EXISTING TO TO BE REMOVED ENTIRELY DENOTES NEW EXISTING ELECTRICAL EQUIPMENT/DEVICE TO BE RELOCATED. EXISTING ELECTRICAL EQUIPMENT/DEVICE IN RELOCATED POSITION.



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LEGEND, KEY PLAN,
& SCHEDULES

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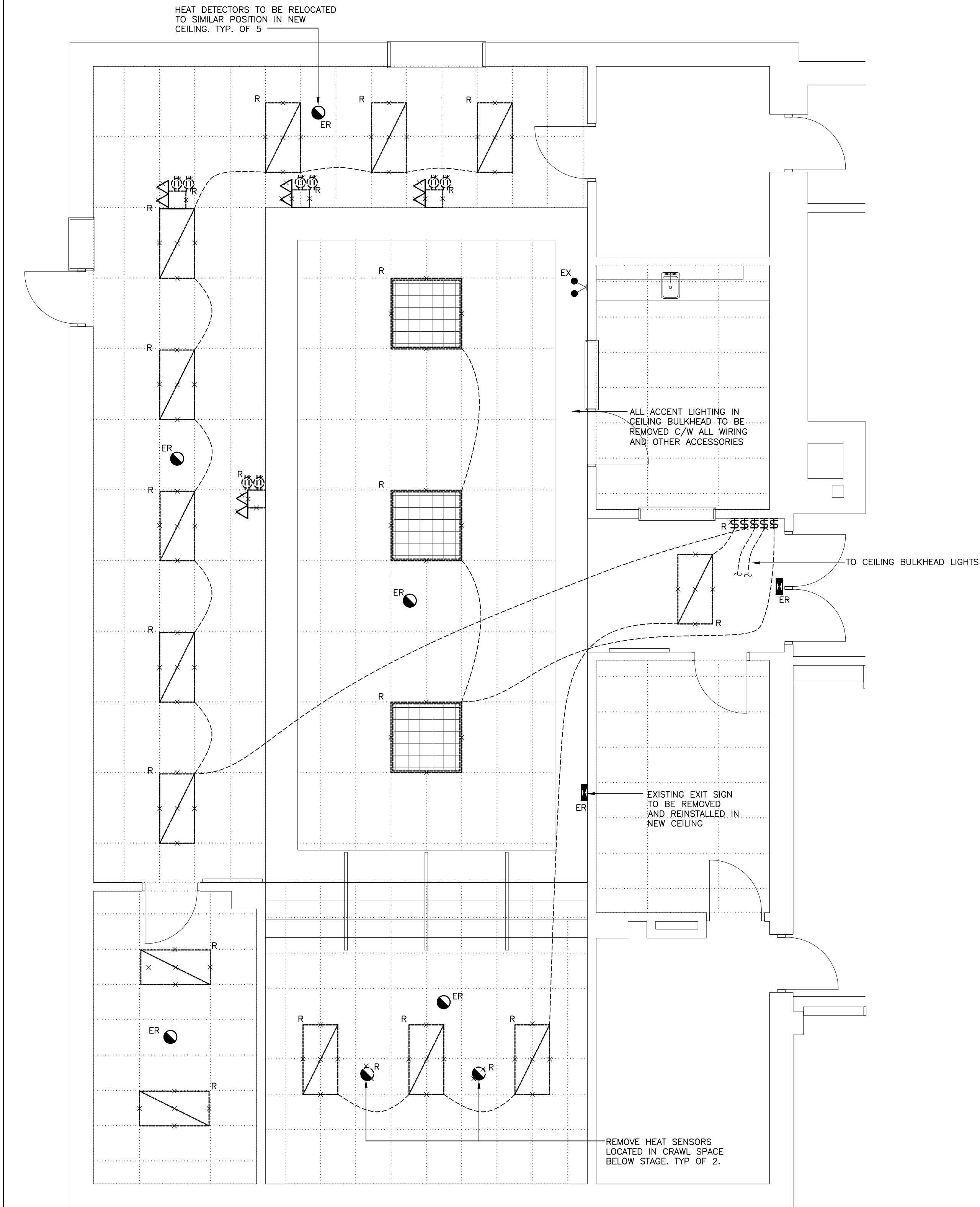
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25-104

client reference number

sheet no.

E - 01

01



GROUND FLOOR LIBRARY – LIGHTING & FIRE ALARM LAYOUT – EXISTING AND DEMO WORK
SCALE: 1:50

NEW WORK NOTES:

PROVIDE NEW LIGHT FIXTURES AS SHOWN OF TYPE NOTED. CONNECT LIGHTING TO THE EXISTING LIGHTING POWER CIRCUITS SERVING THE AREA. REMOVE EXISTING SWITCHES BY LIBRARY ENTRANCE AND PROVIDE NEW SWITCHES AT NEW LOCATION ABOVE NEW PUSH-BOTTOM, APPROXIMATELY AS SHOWN. EXTEND EXISTING POWER WIRING TO NEW SWITCH LOCATION. PROVIDE NEW WIRING FROM NEW SWITCH TO NEW LIGHTS. INCLUDE FOR EXTENDING OF ALL EXISTING LIGHTING CIRCUITS AS REQUIRED TO SUIT THE NEW LIGHTING LAYOUT.

INCLUDE FOR THE SUPPLY & INSTALLATION OF NEW J-HOOKS TO SUPPORT EXISTING, UN-SUPPORTED LOW-VOLTAGE CABLING. MINIMUM SPAN OF J-HOOKS SHALL BE 5FT, INCREASED AS NECESSARY TO SUIT THE NUMBER OF CABLES. AFTER REMOVAL OF CEILINGS, CAREFULLY SUPPORT ALL EXISTING CABLING NOT PROPERLY SUPPORTED USING THE J-HOOK CABLE MANAGEMENT SYSTEM.

TRACE AND VERIFY ALL EXISTING POWER AND SYSTEM SOURCES SERVING THE RENOVATED AREAS INCLUDING BRANCH CIRCUITS.

PROVIDE LABELS (CLEAR TAPE WITH BLACK LETTERS FOR SIZE 14) ON ALL NEW AND EXISTING TO REMAIN RECEPTACLES, SWITCHES AND JUNCTION BOXES COVERPLATES.

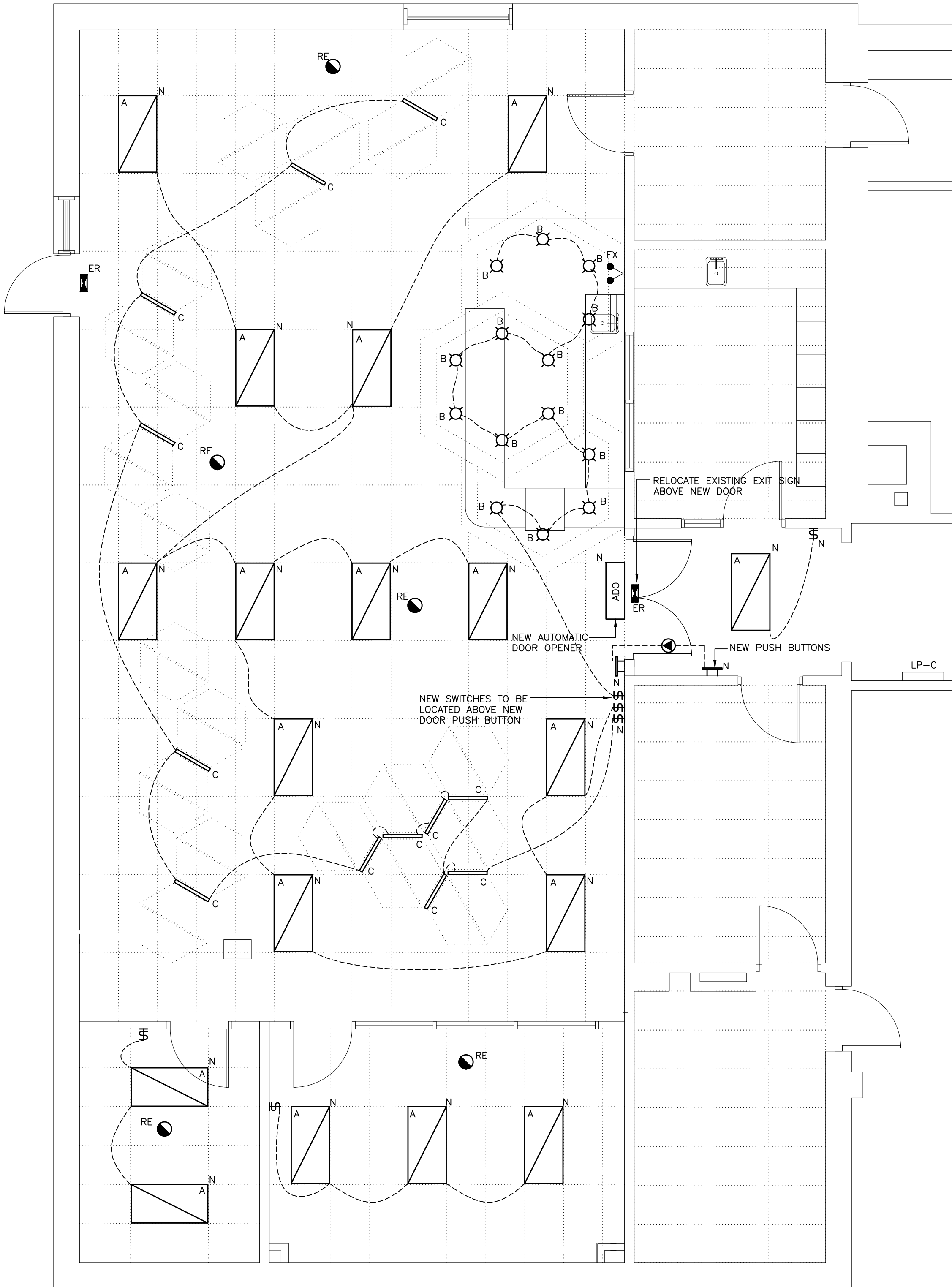
ALL DEVICES/EQUIPMENT/POWER CONNECTIONS SHOWN ARE NEW UNLESS OTHERWISE STATED.

PROVIDE 120V POWER CONNECTIONS (C/W WIRING AND RACEWAYS), BACKBOXES, LOW VOLTAGE WIRING AND CONDUIT REQUIRED FOR THE DOOR OPERATOR SYSTEM (C/W TWO PUSH BUTTONS, PUSH-TO-LOCK BUTTON, ELECTRIC STRIKE AND AUTO OPERATOR) FOR A FULLY OPERATIONAL SYSTEM. ELECTRIC STRIKE, POWER SUPPLY, AUTO OPERATOR, ACTUATORS, PUSH-TO-LOCK BUTTON, LED PLATE, RELAY, AND TRANSFORMER ARE TO BE SUPPLIED UNDER ARCHITECTURAL DIVISION. INSTALLATION OF ALL COMPONENTS SHALL BE BY DIVISION 26. SUPPLY OF ALL WIRING, RACEWAYS AND BACKBOXES SHALL BE BY DIV.26. COORDINATE INSTALLATION WITH OTHER TRADES DURING CONSTRUCTION. STANDARD OF ACCEPTANCE FOR DOOR OPERATOR IS HORTON – SERIES 7100 SURFACE APPLIED

REFER TO ARCHITECTURAL DRAWINGS FOR DEVICE/EQUIPMENT HEIGHT AND LOCATION PRIOR TO ROUGH-IN. ROUGH-IN ACCORDINGLY.

CONTRACTOR TO PROVIDE POWER FOR THE NEW DEVICES FROM THE NEAREST ELECTRICAL PANEL. PROVIDE ALL BREAKERS, WIRING AND CONDUITS.

VERIFY ON SITE LOCATION OF LOCAL DISCONNECT OF EQUIPMENT.



GROUND FLOOR LIBRARY – LIGHTING & FIRE ALARM LAYOUT – NEW WORK
SCALE: 1:50



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scale		AS NOTED

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last worked on by: 2026.03.06 JM
checked: O.S.
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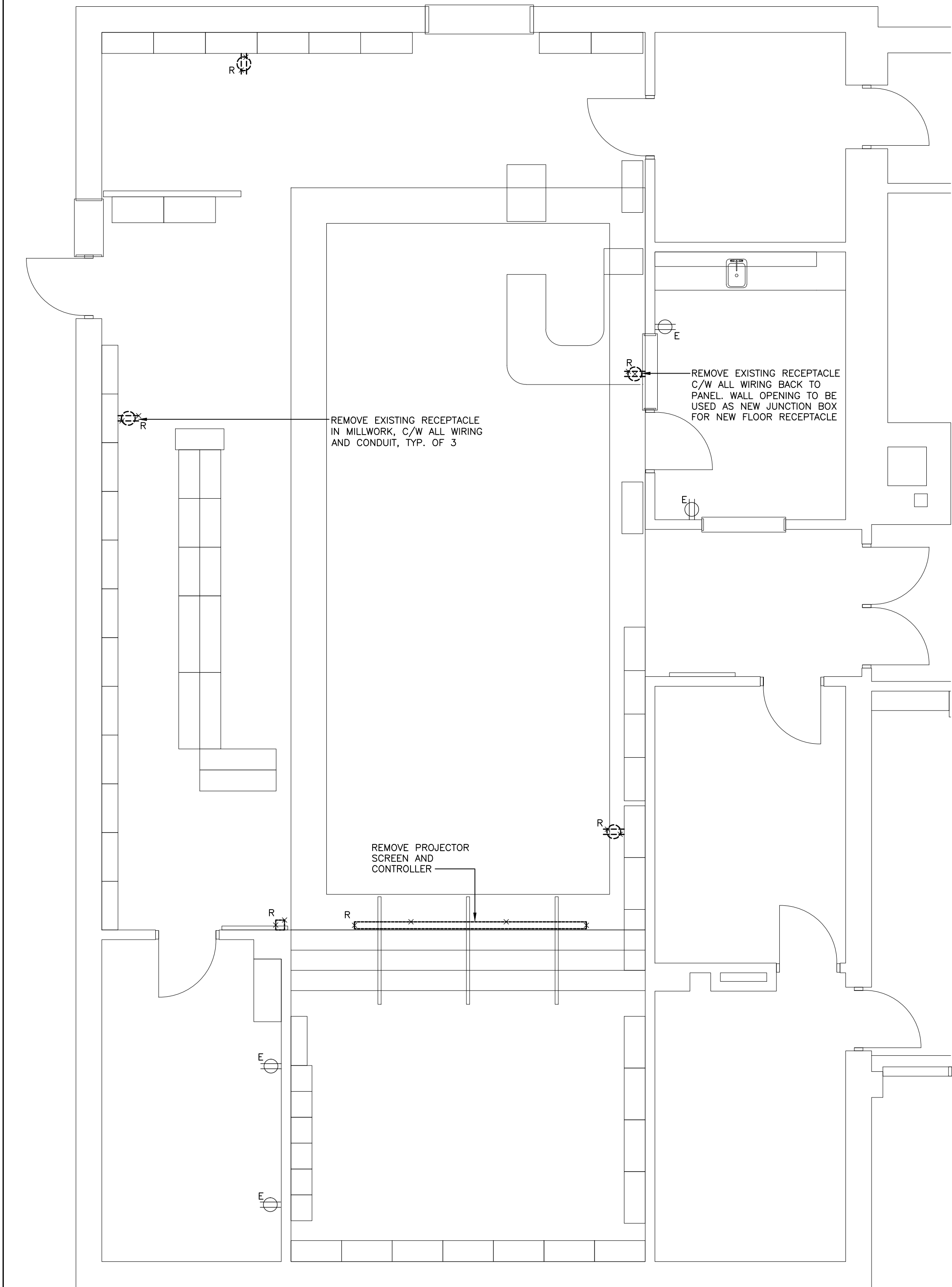
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drawing title
LIGHTING & F/A
LAYOUT – DEMO
& NEW WORK

reference	
project no. 25-104	client reference number
sheet no.	
E - 02	01

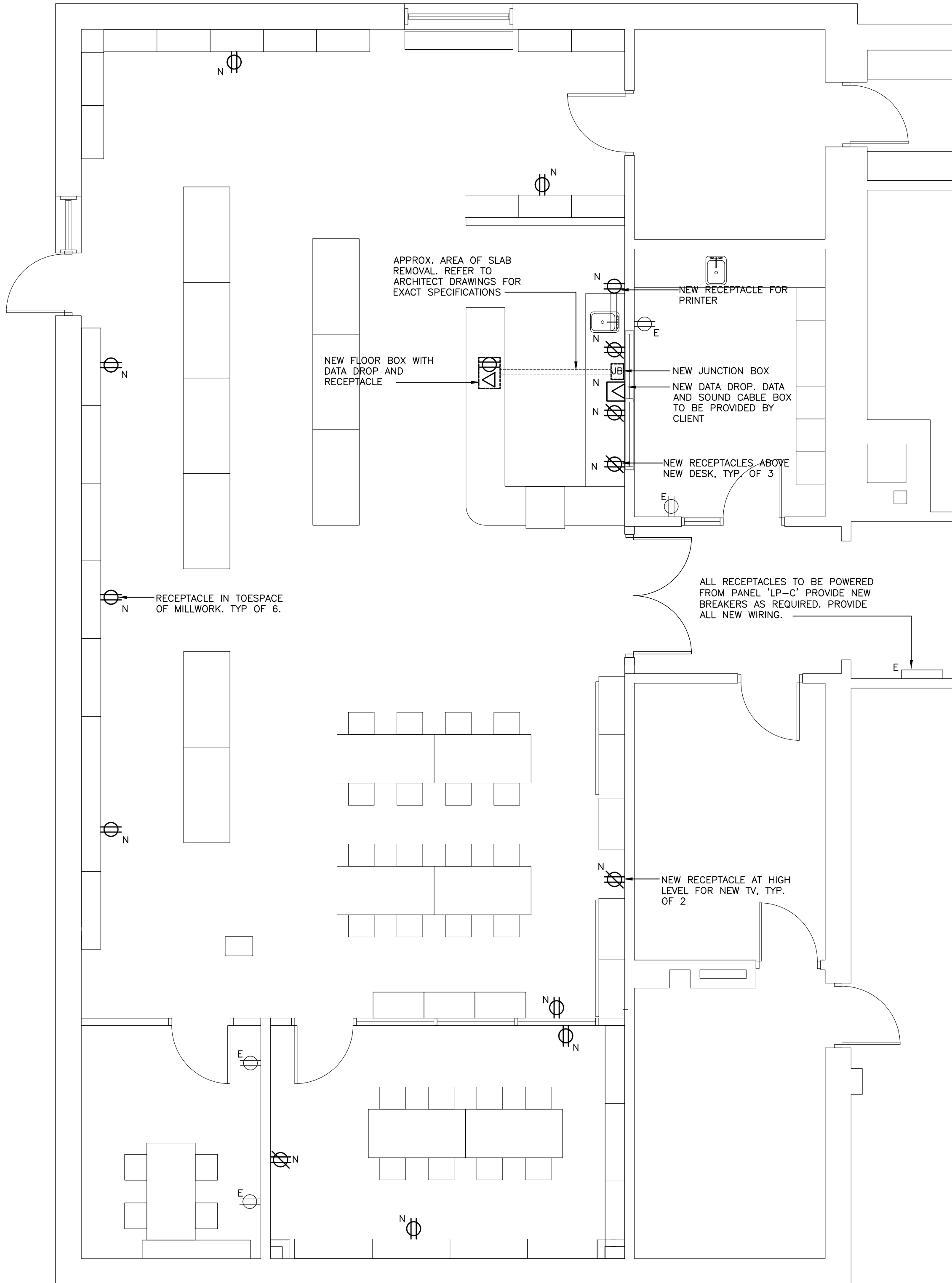


GROUND FLOOR LIBRARY — POWER LAYOUT — EXISTING AND DEMO WORK
SCALE: 1:50

NEW WORK NOTES:

ELECTRICAL CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID EXISTING CONDUITS, PIPING AND DUCTS, ETC. AND TO PREVENT HAZARD TO PERSONNEL AND DAMAGE TO EXISTING UNDERGROUND UTILITIES OR STRUCTURES. THE ENGINEER IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY THIS OR ANY OTHER CONTRACTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD SUCH UNIDENTIFIED CONDITIONS BE DISCOVERED. THESE DRAWINGS AND SPECIFICATIONS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.

NEW FLOOR BOX SHALL BE LEGRAND RFBA SERIES, 2 GANG MINIMUM CAPACITY, C/W COVER



GROUND FLOOR LIBRARY — POWER LAYOUT — NEW WORK
SCALE: 1:50



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04	ISSUED FOR CONSTRUCTION	2026.07.07
03	RE-ISSUED FOR PERMIT	2026.06.01
02	ISSUED FOR ADDENDUM #1	2026.04.20
01	ISSUED FOR TENDER	2026.03.24
No.	REVISIONS	date
		scale AS NOTED
PROJECT NORTH	TRUE NORTH	

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2026.03.24 JM

checked
O.S.
print date
24/03/26

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CHALMERS PUBLIC SCHOOL
RENOVATION

35 CHALMERS STREET SOUTH
CAMBRIDGE ONTARIO

drawing title
POWER LAYOUT
LAYOUT — DEMO
& NEW WORK

reference

project no.
25-104

client reference number

sheet no.
E - 03 **01**